

# WAREHOUSE/INDUSTRIAL DEVELOPMENT SITE DEVELOPMENT PLANS

## 100/200 FINANCIAL PARK FRANKLIN, MASSACHUSETTS

PERMIT SET: MAY 11, 2023



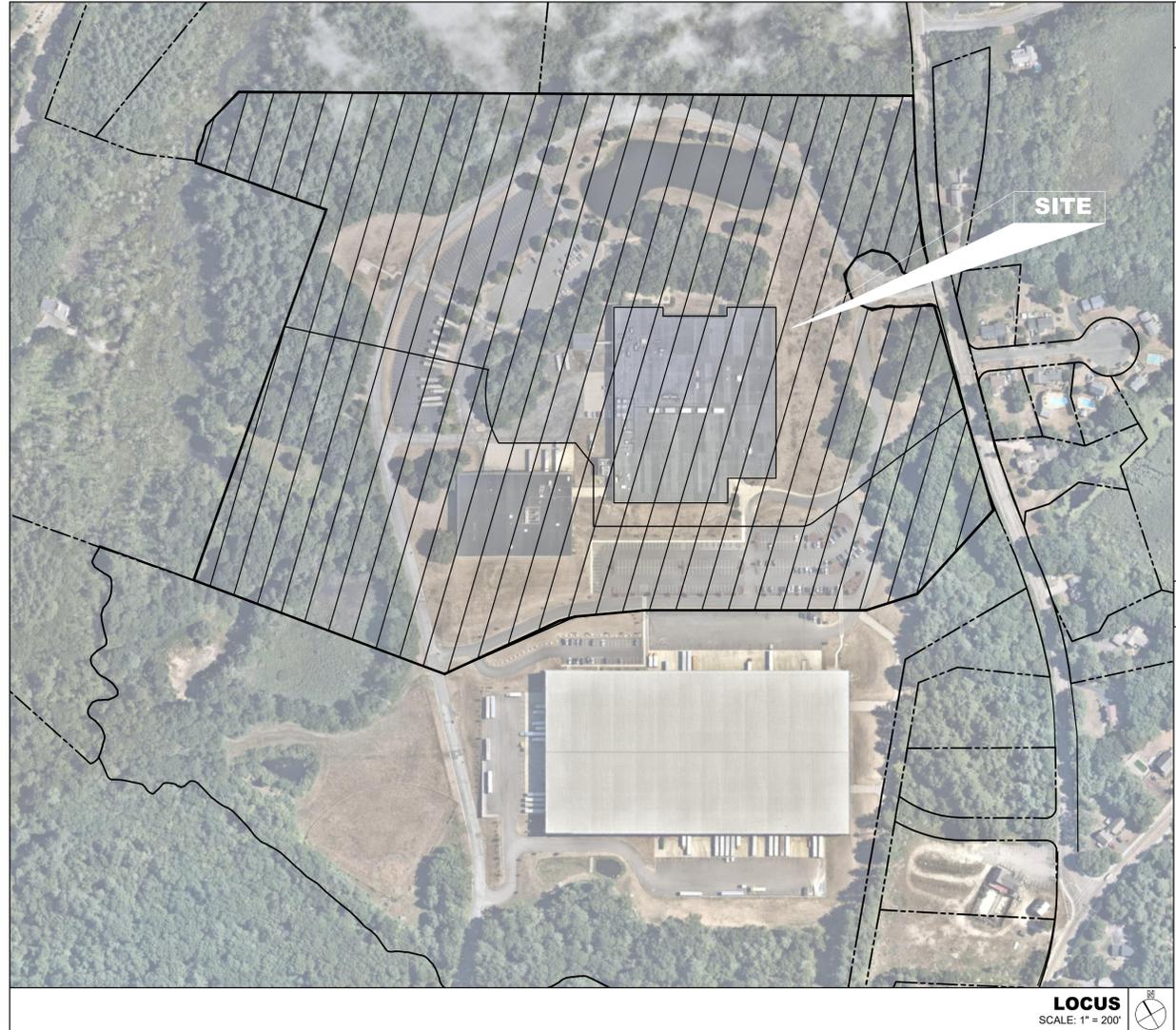
BERKELEY PARTNERS  
1 WASHINGTON MALL | Suite 701  
BOSTON, MA 02108

CONSULTANT:



08-14-2023

WAREHOUSE/INDUSTRIAL DEVELOPMENT  
100/200 FINANCIAL PARK  
FRANKLIN, MA  
OWNER/APPLICANT: BERKELEY PARTNERS



LOCUS  
SCALE: 1" = 200'

### APPLICANT:

BERKELEY PARTNERS  
1 WASHINGTON MALL | SUITE 701  
BOSTON, MA 02108

### OWNER/APPLICANT:

OWNER ICBP IV HOLDINGS 34, LLC  
CO-OWNER C/O BERKELEY PARTNERS  
ADDRESS 1111 BROADWAY | SUITE 1670  
OAKLAND, CA 94607

### ASSESSOR'S ID:

100 FRANKLIN STREET  
BOOK - 40397  
PAGE - 34  
MAP - 312  
PARCEL 020-000-000

200 FRANKLIN STREET  
BOOK - 36923  
PAGE - 217  
MAP - 312  
PARCEL 020-001-000

ZONE INDUSTRIAL

### PROJECT TEAM

**CIVIL ENGINEER:** HIGHPOINT ENGINEERING, INC.  
980 WASHINGTON STREET | SUITE 216  
DEDHAM, MA 02026  
TEL: (781) 770-0970  
ATTN: Douglas Hartnett  
www.highpointeng.com

**LAND SURVEYOR/  
WETLAND CONSULTANT:** HANCOCK ASSOCIATES  
315 ELM STREET  
MARLBOROUGH, MA 01752  
TEL: (508) 460-1111

**TRAFFIC CONSULTANT:** MDM TRANSPORTATION CONSULTANTS  
28 LORD ROAD  
MARLBOROUGH, MA 01752  
TEL: (508) 380-9088

**ARCHITECT:** RODE ARCHITECTS  
535 ALBANY STREET, #405  
BOSTON, MA 02118  
www.rodearchitects.com

**LANDSCAPE ARCHITECT:** MICHAEL D'ANGELO  
LANDSCAPE ARCHITECTS  
840 SUMMER STREET | SUITE 201A  
BOSTON, MA 02110

### INDEX OF DRAWINGS

		PERMIT SET MAY 11, 2023	RESPONSE TO COMMENTS JULY 17, 2023	RESPONSE TO COMMENTS AUGUST 14, 2023
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EC-3	LIMITED/COMPILED EXISTING CONDITIONS PLAN OF LAND IN FRANKLIN, MA (BY OTHERS)	•	•	•
EC-4	LIMITED/COMPILED EXISTING CONDITIONS PLAN OF LAND IN FRANKLIN, MA (BY OTHERS)	•	•	•
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C100	SITE CONFORMANCE PLAN	•	•	•
C101	KEY SHEET	•	•	•
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C300	LAYOUT & MATERIALS PLAN	•	•	•
C301	LAYOUT & MATERIALS PLAN	•	•	•
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O601	SITE DETAILS	•	•	•
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O603	SITE DETAILS	•	•	•
L100	KEY PLAN	•	•	•
L101	MATERIALS PLAN	•	•	•
L102	MATERIALS PLAN	•	•	•
L103	MATERIALS PLAN	•	•	•
L104	MATERIALS PLAN	•	•	•
L105	MATERIALS PLAN	•	•	•
L106	MATERIALS PLAN	•	•	•
L107	MATERIALS PLAN	•	•	•
L108	PLANTING & LIGHTING PLAN	•	•	•
L109	PLANTING & LIGHTING PLAN	•	•	•
L110	PLANTING & LIGHTING PLAN	•	•	•
L111	PLANTING & LIGHTING PLAN	•	•	•
L112	PLANTING & LIGHTING PLAN	•	•	•
L113	PLANTING & LIGHTING PLAN	•	•	•
L114	PLANTING & LIGHTING PLAN	•	•	•
L115	PLANTING SCHEDULE & DETAILS	•	•	•
L116	LIGHTING SCHEDULE & CUT SHEETS	•	•	•
L117	PHOTOMETRIC PLAN	•	•	•
L118	PHOTOMETRIC PLAN	•	•	•
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L120	PHOTOMETRIC PLAN	•	•	•
L121	PHOTOMETRIC PLAN	•	•	•
L122	PHOTOMETRIC PLAN	•	•	•
L123	PHOTOMETRIC PLAN	•	•	•
L124	LANDSCAPE DETAILS	•	•	•

REV	DATE	DESCRIPTION
2	08-14-2023	RESPONSE TO COMMENTS
1	07-17-2023	RESPONSE TO COMMENTS

ISSUE TYPE:  
PERMIT SET  
ISSUE DATE:  
05/11/2023  
PROJECT NUMBER:  
22051  
DRAWN BY: JJP / CCL/ WH  
CHECKED BY: DJH  
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SHEET TITLE:  
**T100**  
SHEET NUMBER:  
**T100**

**LEGEND**

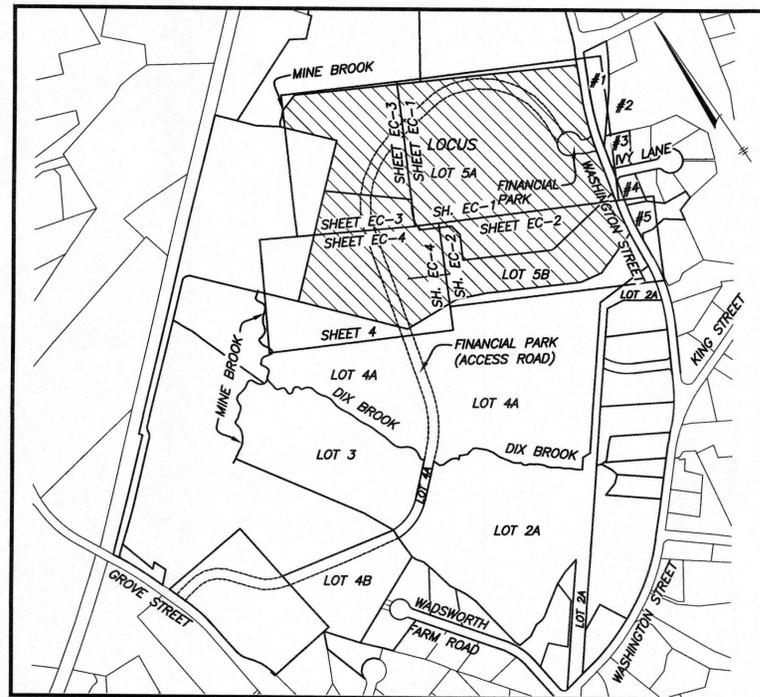
- E— ELECTRIC MANHOLE & UNDERGROUND ELECTRIC LINES
- FO— TELEPHONE MANHOLE & UNDERGROUND FIBER OPTIC LINES
- IR IRON ROD
- BIT. BITUMINOUS
- (C) CALCULATED
- CONG. CONCRETE
- (F) FOUND
- (R) RECORD
- ⊕ POST INDICATOR VALVE
- ⊕ CAMERA
- ⊕ DRY WELL
- ☆ LIGHT POLE
- BOLLARD
- SIGN
- DH DRILL HOLE
- DHCB DRILL HOLE IN CONCRETE BOUND
- DHSB DRILL HOLE IN STONE BOUND
- ⊕ CB CATCH BASIN
- ⊕ SMH SEWER MANHOLE
- W 6" CI WATER MANHOLE, WATER MAIN WITH SIZE, TEE, GATE VALVE & FIRE HYDRANT
- G 10" DI GAS MAIN WITH SIZE & GATE VALVE
- OHV— EXISTING UTILITY POLE WITH DESIGNATION OVERHEAD WIRES AND GUY POLE
- ⊕ AREA OF FLOOD ZONES (SEE NOTE 10)
- STONE WALL
- METAL GUARDRAIL
- EDGE OF PAVEMENT
- WIRE FENCE
- EDGE OF GRAVEL ROAD
- T/G— TELECOMMUNICATIONS EASEMENT
- 208.8 WFA2 LIMIT OF BORDERING VEGETATED WETLAND WITH FLAG NUMBER AND ELEVATION
- LIMIT OF 25-FOOT NO DISTURB WETLAND BUFFER ZONE
- LIMIT OF 50-FOOT NO BUILD ZONE WETLAND BUFFER ZONE
- LIMIT OF 100-FOOT WETLAND BUFFER ZONE
- SEWERLINE & MANHOLE
- DRAINLINE WITH CATCHBASIN, MANHOLE & ROUND CATCHBASIN
- LIMIT OF 100-YEAR FLOOD PLAIN (SEE NOTE 10 & 11)
- LIMIT OF FEMA FLOOD WAY (SEE NOTE 10)
- LIMIT OF 100-FOOT INNER RIPARIAN ZONE
- LIMIT OF 200-FOOT OUTER RIPARIAN ZONE

# LIMITED/COMPLIED EXISTING CONDITIONS PLAN

## FOR 100 & 200 FINANCIAL PARK FRANKLIN, MA

OCTOBER 24, 2022

REV. JULY 24, 2023



**LOCUS MAP**  
1"=500'

**NOTES:**

- 1) PROJECT SOURCE BENCHMARK IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988
- 2) THE PURPOSE OF THIS PLAN IS TO FACILITATE CONCEPT DESIGN ONLY. IT COMPILES INFORMATION FROM THE FOLLOWING SOURCES:  
A: TOPOGRAPHY AND WETLANDS (SERIES F&G) NEAR WASHINGTON STREET FROM 2016 ANRAD BY THIS OFFICE.  
B: REMAINDER OF WETLANDS FROM 2019 WETLANDS PLAN OF LOT 5 BY THIS OFFICE.  
C: 2020 SITE "AS-BUILT" BY THIS OFFICE OF LOT 4A (TO THE SOUTH) WHICH INCLUDES PARKING EASEMENT ON LOT 5A AND ACCESS EASEMENT TO FINANCIAL PARK CUL-DE-SAC.  
D: UTILITY LOCATIONS FROM 2021 ALTA PLAN FOR LOT 5A AND LOT 5B.  
E: PORTIONS OF CONTOURS FROM NOAA 2011 LIDAR.  
F: GPS FILL IN CONTOURS IN AREA SOUTH OF SMALL WAREHOUSE.
- 3) UNDERGROUND UTILITIES SHOWN HEREON ARE FROM A DECEMBER 15, 2021 ALTA BY THIS OFFICE (AND HAVE NOT BEEN UPDATED). THEY WERE COMPILED FROM FIELD LOCATIONS OF STRUCTURES, CONTRACTOR PAINT MARKS, AND AVAILABLE RECORD INFORMATION ON FILE AT THE TOWN ENGINEERING OFFICES, TOWN D.P.W., MASS HIGHWAY DEPT. AND UTILITY COMPANIES. OTHER UNDERGROUND UTILITIES MAY EXIST. IT SHALL BE THE RESPONSIBILITY OF THE DESIGN ENGINEER AND THE CONTRACTOR TO VERIFY THE LOCATION, SIZE & ELEVATION OF ALL UTILITIES WITHIN THE AREA OF ANY FUTURE PROPOSED WORK AND TO CONTACT "DIG-SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, DEMOLITION OR CONSTRUCTION.
- 4) THE LOCATION OF UNDERGROUND STORAGE TANKS, IF ANY, ARE UNKNOWN.
- 5) THIS PLAN IS A COMPILATION OF SEVERAL TOPOGRAPHIC SURVEYS PREPARED AT VARIOUS SCALES, AS SUCH, SCALES OF SOME SYMBOLS ARE NOT CONSISTENT.
- 6) ELECTRIC EASEMENT CROSSING LOCUS IS DEPICTED APPROXIMATELY PER 2-19-15 ALTA PLAN PREPARED FOR CRE MANAGEMENT, LLC. AND PLAN BOOK 56, PLAN #2653.
- 7) INTENTIONALLY OMITTED
- 8) A TWO LOT DEFINITIVE SUBDIVISION PLAN WAS APPROVED FOR PREVIOUS OWNERS BUT NOT REFERENCED ON THE CURRENT DEED. THE COVER SHEET (ONLY) WAS RECORDED IN PLAN BOOK 428, PLAN 163 OF 1995 AT THE NORFOLK COUNTY REGISTRY OF DEEDS. THE LOTTING SHEETS, NOT RECORDED, ARE ON FILE AT THE FRANKLIN PLANNING BOARD. THE LOCATION OF THE "FINANCIAL PARK" CUL-DE-SAC IS SHOWN FROM SAID PLANS.
- 9) LOCATION OF IRRIGATION SYSTEM COMPONENTS NOT INCLUDED IN THIS SURVEY.
- 10) FEMA FLOOD ZONE LINES FOR "ZONE X-SHADED" ARE SHOWN APPROXIMATELY FROM MASS GIS.
- 11) THE 100 YEAR FLOOD PLAIN (FLOOD ZONE AE) WAS FIELD LOCATED ON LOT 4A AND PARTIALLY ONTO THE SOUTHERLY PORTION OF LOT 5 ON AUGUST 19, 2019. THE FLOOD ZONE LINE IS SHOWN PER FIELD LOCATION BETWEEN WETLAND FLAG J105 (SHEETS 4 & 5) AND MEAN ANNUAL HIGH WATER FLAG 215. ALL OTHER PORTIONS OF FLOOD ZONE AE LINES ARE SHOWN APPROXIMATELY PER INTERPOLATION OF THE NOAA LIDAR CONTOURS THAT ARE PART OF THIS COMPILATION PLAN AND ARE NOT FIELD LOCATED.
- 12) MEAN ANNUAL HIGH WATER (MAHW) HAS BEEN FIELD DELINEATED AT THE NORTHWEST CORNER OF LOT 5A AND SEVERAL HUNDRED FEET SOUTH OF THERE. ON LOT 4A, ALONG MINE BROOK AND THE PORTION OF DIX BROOK THAT HAS NOT BEEN FIELD DELINEATED, MAHW HAS BEEN APPROXIMATED BASED ON DIGITIZED CENTERLINE OF SAID BROOKS AND MAHW WIDTHS FROM USGS STREAMSTATS BANKFULL STATISTICS.
- 13) BVW (BORDERING VEGETATED WETLANDS) HAS NOT BEEN FLAGGED WEST OF THE DETENTION POND ON ABUTTING LOT 4A, BETWEEN DIX BROOK AND ROUGH WF-J85. THIS LINE WOULD NOT IMPACT THE 100' SETBACK LINE ON LOT 4A AS THE DETENTION POND BROADCASTS A 100' BUFFER FARTHER EAST AS DEPICTED.
- 14) OFF-SITE ACCESS EASEMENTS AND UTILITY EASEMENTS EXIST BUT ARE NOT SHOWN AS THEY ARE OUTSIDE THE SCOPE OF THIS SURVEY.
- 15) WATER LINE SHOWN HEREON FOR WELL PUMP IS COMPILED FROM A SKETCH SUPPLIED BY HIGHPOINT ENGINEERING AND IS SHOWN APPROXIMATE ONLY. A WELL PUMP EXISTS ON SITE BUT HAS NOT BEEN LOCATED AS OF THE DATE OF THIS PLAN.
- 16) REVISED AND ADDITIONAL WETLAND FLAGS WERE FIELD LOCATED ON JUNE 29, 2023 BY THIS OFFICE AND ARE SHOWN HERE ON (SHEET EC-1) NEW FLAGS LOCATED ARE WF-114A, WF-114B, WF-114C, WF-114D, WF-B100, WF-B101, WF-B102, WF-B103, WF-BA200, WF-BA201B, WF-BA202, WF-BA203 & WF-BA204. WETLAND FLAGS WF BA-103A, WF BA-102A, WF BA-101A, WF BA-100A, WF BA-200A, WF BA-201 & WF BA-202A WERE LOCATED ON JULY 17, 2023.
- 17) IN PARAGRAPH 1.2 OF DOCUMENT IN DEED BOOK 36923, PAGE 202 A 20'X20' SIGNAGE EASEMENT IS DESCRIBED BUT REFERENCES A SKETCH ON ITS EXHIBIT B THAT DEPICTS TWO STRAIGHT LINES AND A CURVE WITH NO MATH. A BEST GUESS OF INTENT IS DRAFTED HEREON.

**SHEET INDEX:**

COVER SHEET  
LIMITED/COMPLIED EXISTING.....EC-1 THRU EC-4  
CONDITIONS PLANS

**ABUTTERS EAST OF WASHINGTON STREET:**

- #1: 312-006-000-000  
HALLIE WETZELL & NICHOLAS PAONE  
394 WASHINGTON STREET, FRANKLIN, MA  
DEED BOOK 31636, PAGE 270
- #2: 312-011-000-000  
TOWN OF FRANKLIN  
DEED BOOK 9381, PAGE 124
- #3: 312-007-000-000  
MICHAEL CARUSO & VANESSA CARUSO  
2 IVY LANE, FRANKLIN, MA  
DEED BOOK 35089, PAGE 415
- #4: 312-016-000-000  
KEVIN & KATIE BOYCE  
1 IVY LANE, FRANKLIN, MA  
DEED BOOK 36017, PAGE 305
- #5: 312-017-000-000  
SUZANNA & AMBER SARKAR  
JOANNE HEBERT SARKAR  
460 WASHINGTON STREET, FRANKLIN, MA  
DEED BOOK 40155, PAGE 457

**RECORD OWNERS:**

ICBP IV HOLDINGS 34, LLC  
C/O BERKELEY PARTERS  
1 SANSOME STREET, SUITE 1500  
SAN FRANCISCO, CALIFORNIA

**ASSESSORS' PARCEL ID:**

LOT 5A: 312-020-000-000  
LOT 5B: 312-020-001-000  
W/R/T EASEMENT OVER LOT 4A  
LOT 4A: 321-060-000-000

**REFERENCES:**

DEED BOOK 36923, PAGE 217  
PLAN BOOK 56, PLAN 2653 & 2654  
PLAN BOOK 107, PAGE 253  
PLAN BOOK 117, PAGES 388 & 389  
PLAN BOOK 190, PAGE 1305  
PLAN 252 OF 1977, PLAN BOOK 259  
PLAN BOOK 281, PLAN 323 OF 1980  
PLAN 322 OF 1980, PLAN BOOK 281  
PLAN BOOK 665, PAGES 8 & 9  
PLAN BOOK 672, PAGE 97 & 98  
PLAN BOOK 672, PAGE 97 & 98  
PLAN BOOK 675, PAGE 39  
PLAN BOOK 676, PAGE 49  
PLAN BOOK 678, PAGES 8 & 9  
PLAN BOOK 701, PAGE 31  
PLAN BOOK 281, PLAN 323 OF 1980

**ZONING:**

INDUSTRIAL

**SURVEYOR**

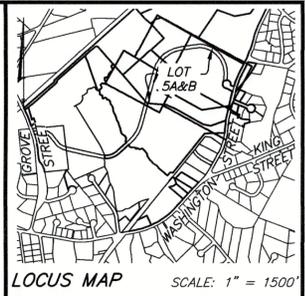
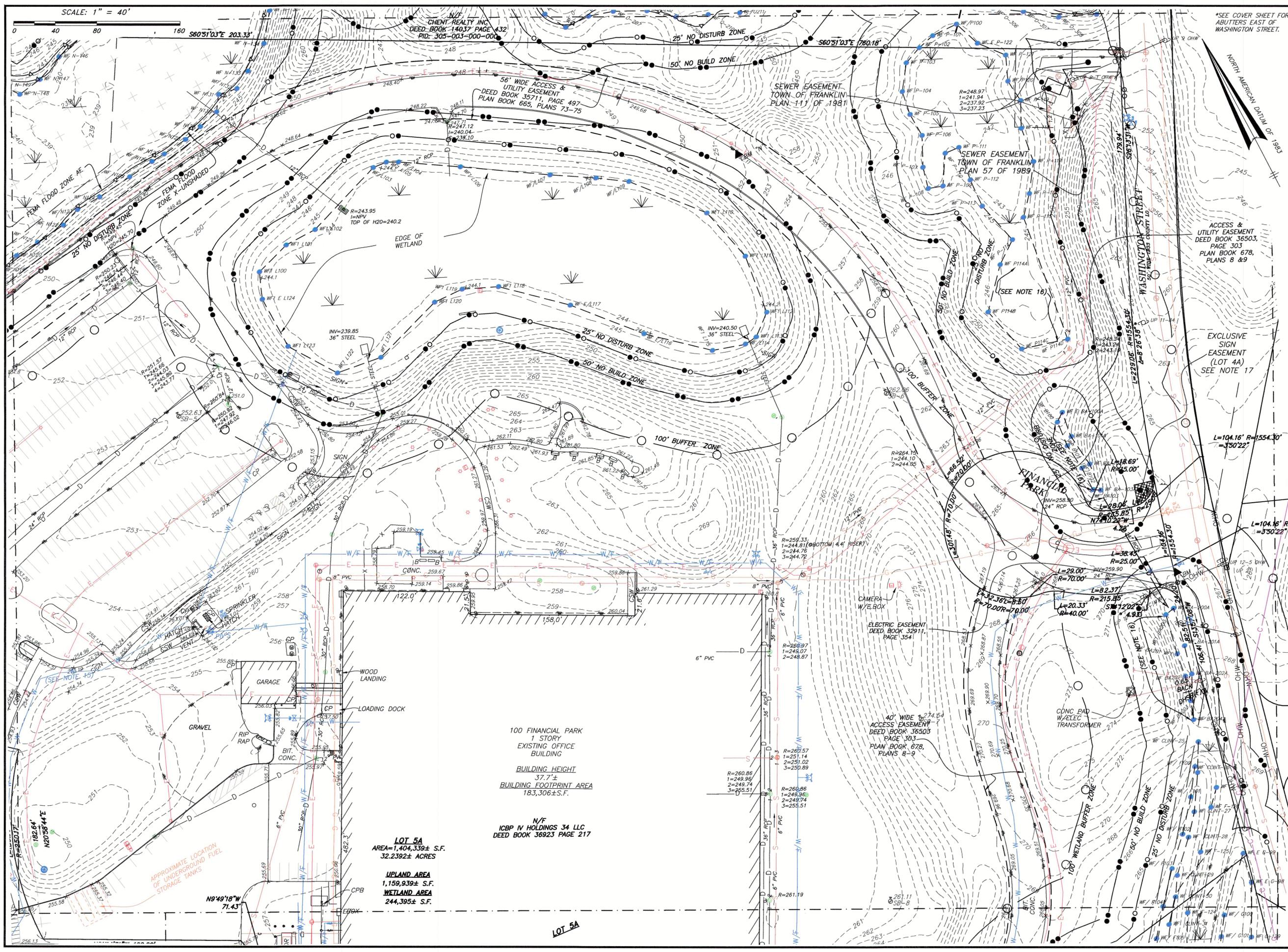
HANCOCK ASSOCIATES  
315 ELM STREET  
MARLBOROUGH, MA 01752  
PHONE (508) 460-1111

**CIVIL ENGINEER**

HIGHPOINT ENGINEERING, INC.  
980 WASHINGTON STREET  
DEDHAM, MA 02026  
PHONE (781) 770-0973



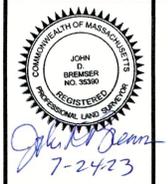
ELEVATION BENCH MARKS		
▲ DATUM: (SEE NOTE 1)		
NO.	DESCRIPTION	ELEV.
L	MAGNETIC NAIL IN PAVEMENT	266.93
M	MAGNETIC NAIL IN PAVEMENT	254.42
N	MAGNETIC NAIL IN PAVEMENT	251.92



**SITE ADDRESS:**  
**#100 & #200**  
**FINANCIAL PARK**  
 (F/K/A 431 WASHINGTON ST.)  
 Franklin, Massachusetts

**PREPARED FOR:**  
**BERKELEY PARTNERS**  
**GROUP, LLC**

**HANCOCK**  
**ASSOCIATES**  
 Civil Engineers  
 Land Surveyors  
 Environmental  
 Consultants  
 315 Elm Street, Marlborough, MA 01752  
 Voice (508) 460-1111, Fax (508) 460-1121  
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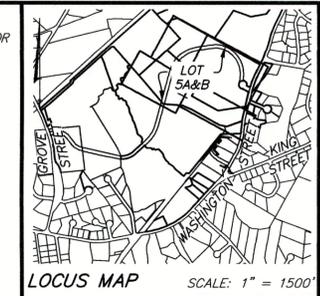
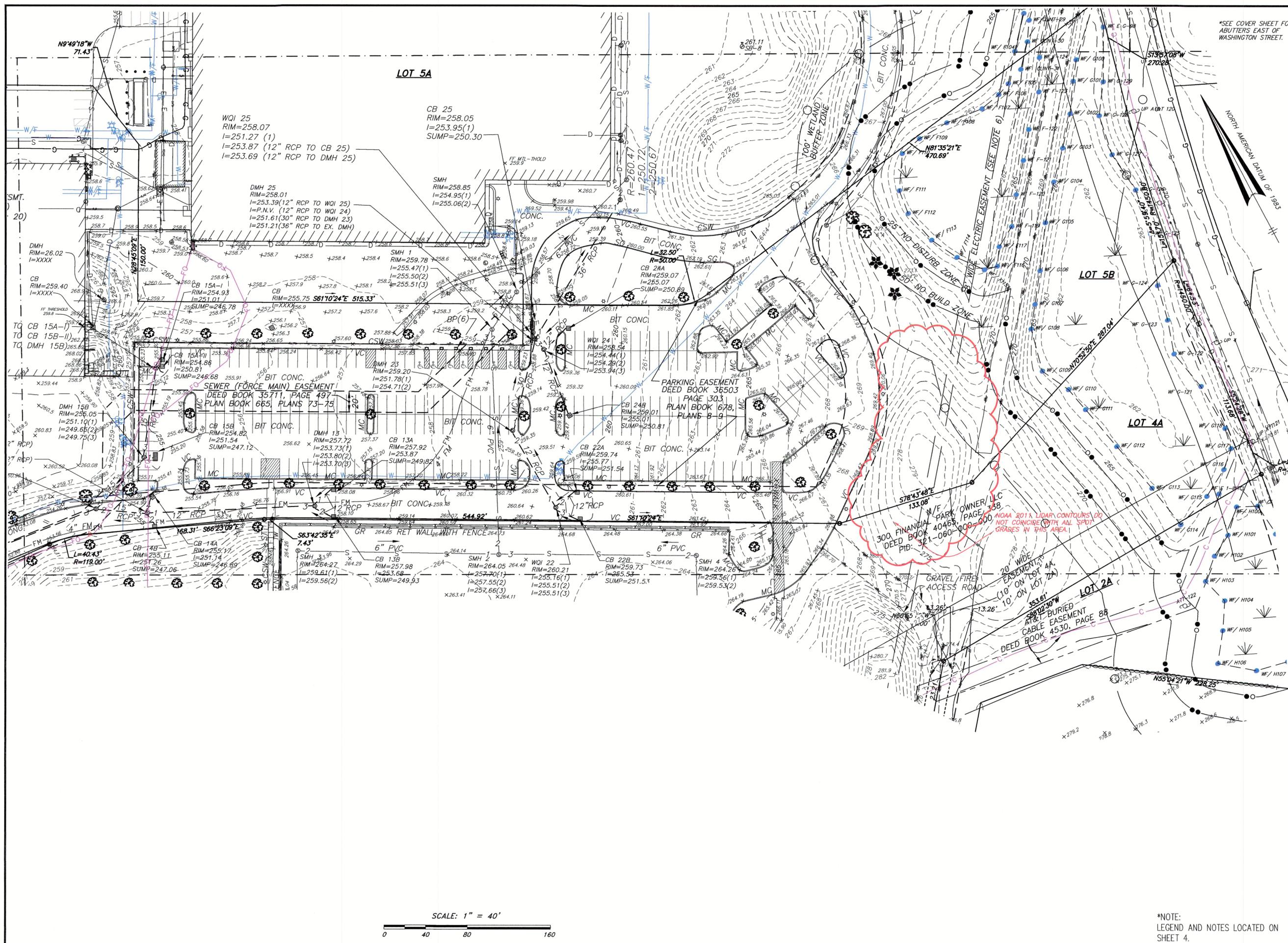
NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION
12	CMC	JDB	7/24/23	ADD HYDRANT AT FINANCIAL PARK & WASHINGTON STREET
11	CMC	JDB	7/19/23	REV. WET. LINES/BUFF. AT WASH & FIN. PARK. NOTES & CULVERT
10	CMC	JDB	5/5/23	ADD WATER LINE
9	CMC	JDB	4/17/23	GENERAL REVISIONS
8	CMC	JDB	4/4/23	GENERAL REVISIONS
6	CMC	JDB	3/6/23	REVISE NOTES 10-13, ADD 13; ADD MAHW FLAGS ON LOT 4A
5	CMC	JDB	2/3/23	REVISE FLOOD ZONE AREAS & ADD MAHW FLAG SERIES 100
1	CMC	JDB	11/2/22	GENERAL REVISIONS

DATE: 10/24/22 DRAWN BY: CMC  
 SCALE: 1" = 40' CHECK BY: JDB

**LIMITED/COMPILED**  
**EXISTING CONDITIONS**  
**PLAN OF LAND**  
**IN**  
**FRANKLIN, MA**

PLOT DATE: Jul 24, 2023 7:15 pm  
 DWG: 26609-LIM-EC-LOT-5A&B-2023.dwg  
 LAYOUT: EC-1  
 SHEET: 2 OF 5  
 PROJECT NO.: 22387

**EC-1**



**SITE ADDRESS:**  
**#100 & #200**  
**FINANCIAL PARK**  
 (F/K/A 431 WASHINGTON ST.)  
 Franklin, Massachusetts

**PREPARED FOR:**  
**BERKELEY PARTNERS**  
**GROUP, LLC**

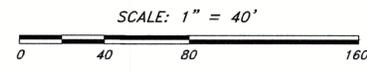
**HANCOCK ASSOCIATES**  
 Civil Engineers  
 Land Surveyors  
 Environmental Consultants  
 315 Elm Street, Marlborough, MA 01752  
 Voice (508) 460-1111, Fax (508) 460-1121  
 www.hancockassociates.com



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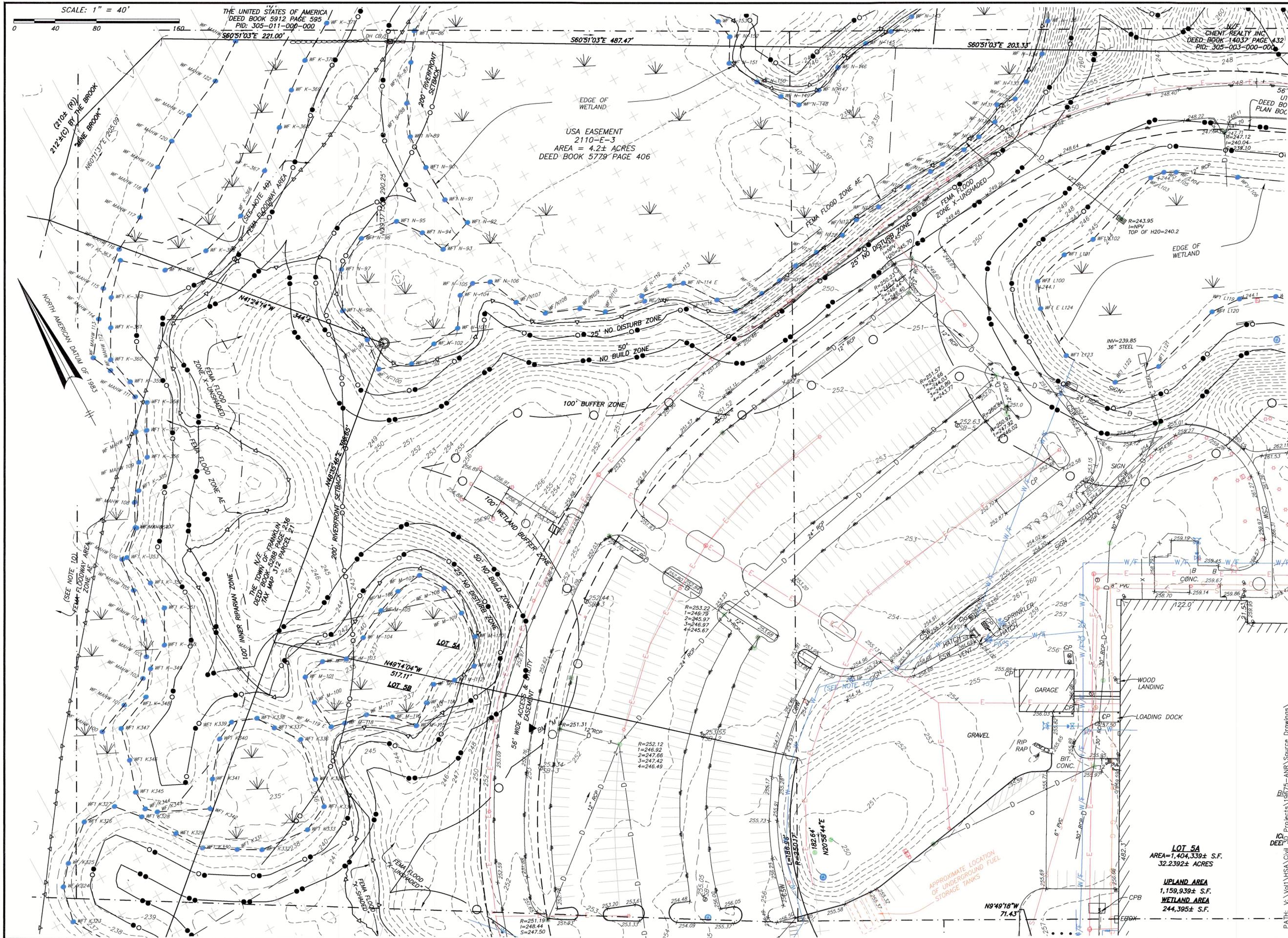
DATE: 10/24/22 DRAWN BY: CMC  
 SCALE: 1" = 40' CHECK BY: JDB

**LIMITED/COMPILED**  
**EXISTING CONDITIONS**  
**PLAN OF LAND**  
**IN**  
**FRANKLIN, MA**  
 PLOT DATE: Jul 24, 2023 7:10 pm  
 DWS: 26609-LIM-EC-LOT-5A&B-2023.dwg  
 LAYOUT: EC-2  
 SHEET: 3 OF 5  
 PROJECT NO.: 26609



\*NOTE:  
 LEGEND AND NOTES LOCATED ON SHEET 4.

PATH: V:\01\1975\Civil\30 Projects\19675-ANR Source Drawings\



SCALE: 1" = 40'

THE UNITED STATES OF AMERICA  
DEED BOOK 5912 PAGE 595  
PID: 305-011-000-000

580°51'03"E 221.00'

580°51'03"E 487.47'

580°51'03"E 203.33'

CHENT REALTY INC  
DEED BOOK 14037 PAGE 432  
PID: 305-003-000-000

USA EASEMENT  
2110-E-3  
AREA = 4.2± ACRES  
DEED BOOK 5779 PAGE 406



SITE ADDRESS:  
**#100 & #200  
FINANCIAL PARK**  
(F/K/A 431 WASHINGTON ST.)  
Franklin, Massachusetts

PREPARED FOR:  
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1	CMC	JDB	11/2/22	GENERAL REVISIONS

DATE: 10/24/22 DRAWN BY: CMC  
SCALE: 1" = 40' CHECK BY: JDB

**LIMITED/COMPILED  
EXISTING CONDITIONS  
PLAN OF LAND  
IN  
FRANKLIN, MA**

PLOT DATE: Jul 24, 2023 7:13 pm

DWG: 26609-LIM-EC-LOT-5A&B-2023.dwg

LAYOUT: EC-3

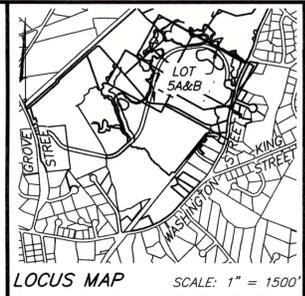
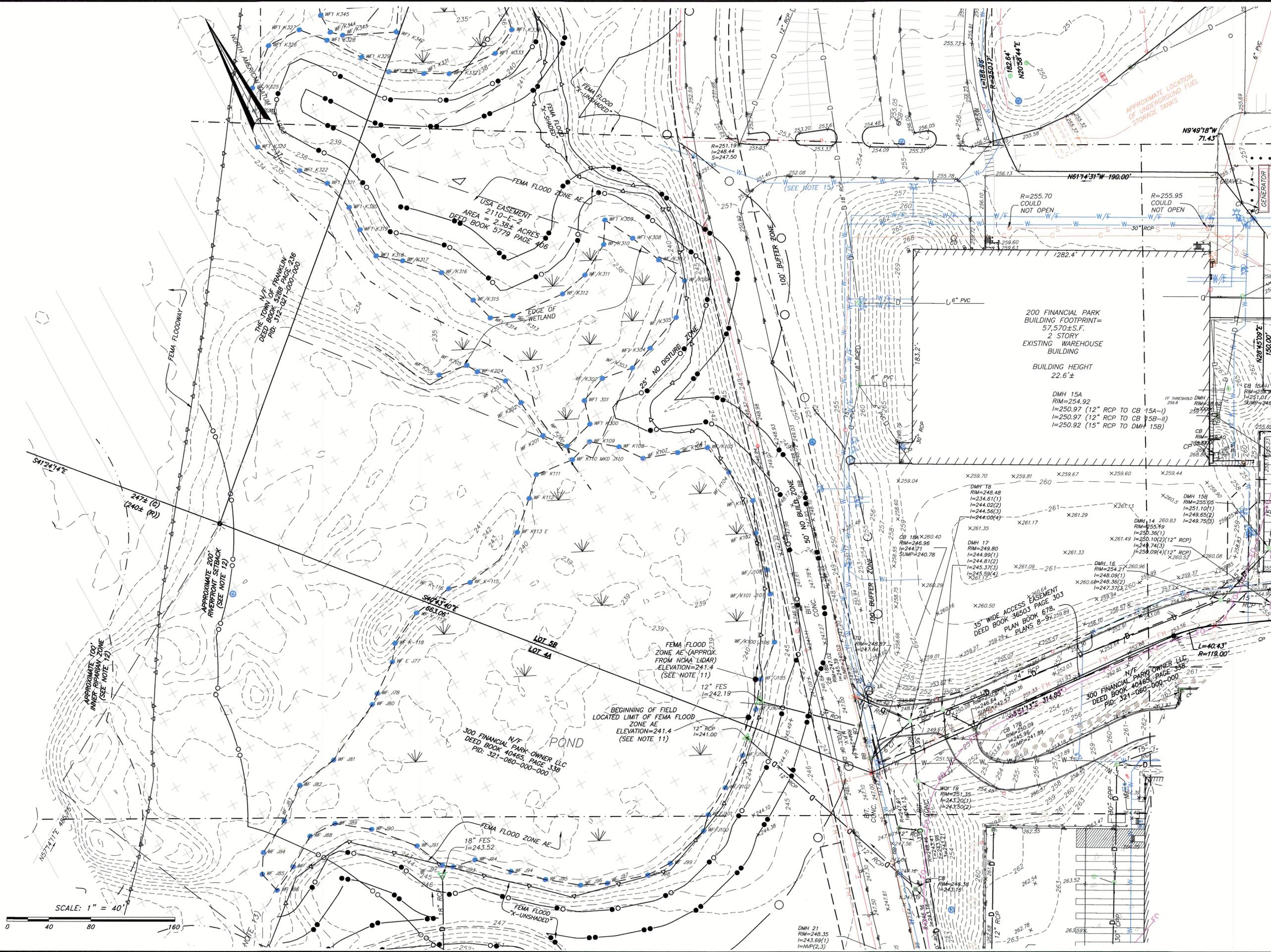
SHEET: 4 OF 5

PROJECT NO.: 26609

**LOT 5A**  
AREA=1,404,339± S.F.  
32.2392± ACRES

**UPLAND AREA**  
1,159,939± S.F.  
**WETLAND AREA**  
244,395± S.F.

**EC-3**



**SITE ADDRESS:**  
 #100 & #200  
**FINANCIAL PARK**  
 (F/K/A 431 WASHINGTON ST.)  
 Franklin, Massachusetts

**PREPARED FOR:**  
 BERKELEY PARTNERS  
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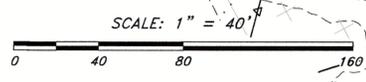
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12	CMC	JDB	7/24/23	ADD HYDRANT AT FINANCIAL PARK & WASHINGTON STREET
11	CMC	JDB	7/19/23	REV. WET. LINES/BUFF. AT WASH & FIN. PARK. NOTES & CULVERT
10	CMC	JDB	5/5/23	ADD WATER LINE
9	CMC	JDB	4/17/23	GENERAL REVISIONS
8	CMC	JDB	4/4/23	GENERAL REVISIONS
6	CMC	JDB	3/6/23	REVISE NOTES 10-13, ADD 13; ADD MAHW FLAGS ON LOT 4A
5	CMC	JDB	2/3/23	REVISE FLOOD ZONE AREAS & ADD MAHW FLAG SERIES 100
1	CMC	JDB	11/2/22	GENERAL REVISIONS
NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION

DATE: 10/25/22 DRAWN BY: CMC  
 SCALE: 1" = 40' CHECK BY: JDB

**LIMITED/COMPILED EXISTING CONDITIONS PLAN OF LAND IN FRANKLIN, MA**  
 PLLOT DATE: Jul 24, 2023 7:14 pm  
 DWG: 26609-LIM-EC-LOT-5A&B-2023.dwg  
 LAYOUT: EC-4  
 SHEET: 5 OF 5  
 PROJECT NO.: 26609



GENERAL NOTES

THE CONTRACTOR SHALL REPORT TO THE OWNER AND ENGINEER ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS FROM THOSE SHOWN ON THESE PLANS...

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTITUTE ANY AND ALL SAFETY MEASURES NECESSARY TO PROTECT THE PUBLIC SAFETY DURING CONSTRUCTION...

THE EXISTING SITE CONDITIONS SHOWN ON THESE PLANS WERE DETERMINED BY A FIELD SURVEY AND COMPILED FROM PLANS OF RECORD...

UNLESS OTHERWISE SPECIFIED ON THE PLANS AND SPECIFICATIONS ALL SITE CONSTRUCTION MATERIALS AND METHODOLOGIES ARE TO CONFORM TO THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES...

WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN THE STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES...

THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS, INCLUDING (BUT NOT LIMITED TO) THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS.

CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS.

LIMIT OF WORK SHALL BE EROSION CONTROL BARRIERS, LIMIT OF GRADING AND SITE LIMIT OF WORK SHALL BE EROSION CONTROL BARRIERS, LIMIT OF GRADING AND SITE PROPERTY LINES AND/OR AS INDICATED ON DRAWINGS.

CONTRACTOR TO VERIFY UTILITY STUB LOCATIONS AND ELEVATIONS IN THE FIELD PRIOR TO COMMENCING WORK.

ANY ALTERATION TO THESE DRAWINGS MADE IN THE FIELD DURING CONSTRUCTION RECORDED BY THE CONTRACTOR ON RECORD DOCUMENTS.

ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.

ALL WORK TO BE DONE WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO TOWN/CITY LOCAL STANDARD CONSTRUCTION REQUIREMENTS FOR THE INSTALLATION OF AND/OR REPAIR OF UNDERGROUND FACILITIES, EXCAVATIONS AND PAVING IN THE PUBLIC WAY.

IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL AND SHALL NOTIFY THE OWNER/ENGINEER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.

SEDIMENTATION/EROSION CONTROL NOTES

UNLESS DIRECTED OTHERWISE, ALL EXISTING TURF OR VEGETATED AREAS WITHIN THE PROPOSED LIMITS OF WORK FOR EXCAVATION, GRADING, OR IMPROVEMENT SHALL BE CLEARED AND GRUBBED, WITHIN THE CLEARING AND GRUBBING AREA...

THE LOCATION OF EROSION CONTROL BARRIERS SHOWN ON DRAWINGS ARE INTENDED TO THE LOCATION OF EROSION CONTROL BARRIERS SHOWN ON DRAWINGS ARE INTENDED TO BE MINIMUM REQUIREMENTS AND A GUIDE FOR THE PLACEMENT OF THESE BARRIERS...

THE CONTRACTOR SHALL REGULARLY INSPECT THE PERIMETER OF THE PROPERTY TO CLEAN UP AND REMOVE LOOSE CONSTRUCTION DEBRIS BEFORE IT LEAVES THE SITE...

AT THE END OF CONSTRUCTION, THE CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS AND SURPLUS MATERIALS FROM THE SITE. A THOROUGH INSPECTION OF THE WORK PERMETER IS TO BE MADE AND ALL DISCARDED MATERIALS BLOWN OR WATER CARRIED DEBRIS...

PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTITUTE EROSION CONTROL MEASURES ON AN AS NECESSARY BASIS, SUCH THAT EXCESSIVE SOIL EROSION DOES NOT OCCUR MEASURES SHALL INCLUDE HAY BALE DIKES AROUND DRAINAGE INLETS, MULCHING, AND PLANTING OF DISTURBED AREAS.

AN EROSION CONTROL BARRIER IS TO BE INSTALLED AT THE PROPOSED DOWN GRADIENT TOE OF SLOPE AT ALL LOCATIONS WHERE EARTHWORK IS PROPOSED.

DURING CONSTRUCTION THE EROSION CONTROL MEASURES SHALL BE INSPECTED ONCE PER WEEK AND WITHIN 24 HOURS OF ANY STORM EVENT GENERATING MORE THAN 1/2" OF RAINFALL...

ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADS...

EXPOSED SLOPES GREATER THAN 50' IN LENGTH ARE TO HAVE CHECK DAMS, TERRACES AND/OR MULCHING INSTALLED IN ORDER TO REDUCE EROSION AND TO ENHANCE SURFACE STABILIZATION...

UNTIL DRIVEWAYS ARE PAVED, TEMPORARY DIKES ARE TO BE STAKED ACROSS DRIVEWAYS AS REQUIRED TO DIRECT RUNOFF WATER TO CATCH BASINS...

AFTER INSTALLATION OF EACH DRAINAGE INLET A HAY BALE DIKE SHALL BE INSTALLED AROUND THE INLET TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM.

AT THE END OF CONSTRUCTION ALL DRAINAGE STRUCTURES ARE TO BE CLEANED OF SILT, STONES AND OTHER DEBRIS. EROSION CONTROL BARRIERS ARE TO BE REMOVED AND DISPOSED OF IN ACCORDANCE TO LOCAL REQUIREMENTS.

CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXTING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS...

ALL AREAS DISTURBED DURING CONSTRUCTION AND NOT LEFT IN A NATURAL CONDITION SHALL RECEIVE SIX (6) INCHES OF LOAM AND SEED.

AREAS NOT DISTURBED BY CONSTRUCTION SHALL BE LEFT NATURAL. CARE SHALL BE TAKEN TO PRESERVE EXISTING TREES, GROUND COVER AND OTHER NATURAL FEATURES WHENEVER POSSIBLE.

AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL STATE AT THE CONTRACTOR'S EXPENSE.

CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.

ALL STOCKPILE AREAS SHALL BE LOCATED WITHIN LIMIT OF WORK LINE AND STABILIZED ALL STOCKPILE AREAS SHALL BE LOCATED WITHIN LIMIT OF WORK LINE AND STABILIZED TO PREVENT EROSION.

ALL DEBRIS GENERATED DURING SITE PREPARATION ACTIVITIES SHALL BE LEGALLY ALL DEBRIS GENERATED DURING SITE PREPARATION ACTIVITIES SHALL BE LEGALLY DISPOSED OF OFF-SITE.

PROVIDE CRIBBING AS NECESSARY TO PROTECT EXISTING UTILITY LINES DURING CONSTRUCTION.

SITE ELEMENTS TO REMAIN MUST BE PROTECTED FOR DURATION OF PROJECT.

ALL TOPSOIL ENCOUNTERED WITHIN WORK AREA SHALL BE STRIPPED TO ITS FULL DEPTH AND STOCKPILED FOR REUSE. EXCESS TOPSOIL SHALL BE DISPOSED OF ON-SITE AS DIRECTED BY OWNER...

ALL AREAS IDENTIFIED AS CRITICAL AREA SEEDING SHALL BE STABILIZED DURING CONSTRUCTION BY SEEDING WITH ANNUAL RYE GRASS AT THE RATE OF FORTY (40) LBS/ACRE.

DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNER OR HIS REPRESENTATIVE.

EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING ENVIRONMENTALLY SENSITIVE OR JURISDICTIONAL RESOURCE AREAS.

ALL DISTURBED SLOPES EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15 ALL DISTURBED SLOPES EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15 SHALL BE SEEDED OR PROTECTED BY THAT DATE.

LOAMING AND SEEDING OR MULCHING OF NON-PAVEMENT AREAS SHALL TAKE PLACE AS LOAMING AND SEEDING OR MULCHING OF NON-PAVEMENT AREAS SHALL TAKE PLACE AS SOON AS PRACTICABLE.

ALL SLOPES WITH SURFACE GRADES STEEPER THAN 3:1 SHALL BE STABILIZED WITH EROSION CONTROL BLANKETS.

CORR FIBER ROLLS, HAYBALES, SILT FENCE OR OTHER SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL CONSTRUCTION IS COMPLETED AND THE POTENTIAL FOR ON-SITE EROSION HAS PASSED.

SITE LAYOUT AND MATERIALS NOTES

CONTRACTOR SHALL REPORT SIGNIFICANT CONFLICTS TO THE OWNER OR OWNER'S REPRESENTATIVE FOR RESOLUTION.

ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).

TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

CROSSWALKS SHALL BE STRIPED WITH 12" WIDE LINES OF WHITE THERMO PLASTIC SPACED 3' ON CENTER. STOP LINES SHALL BE STRIPED WITH 12" WIDE LINES OF WHITE THERMO PLASTIC...

PAVEMENT MARKINGS SHALL CONFORM TO SECTION M7.01.05 OF THE COMMONWEALTH OF PAVEMENT MARKINGS SHALL CONFORM TO SECTION M7.01.05 OF THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.

ALL NEW CURBS SHALL BE VERTICAL GRANITE CURBING (VGC) WITH 6" REVEAL UNLESS OTHERWISE INDICATED HEREON. INSTALL 6' LONG TRANSITION CURB STONES AT ALL TRANSITIONS FROM VERTICAL TO FLUSH GRANITE.

EXISTING CURBS TO REMAIN AS SHOWN HEREON ARE ASSUMED TO BE IN SATISFACTORY CONDITION BUT ARE TO BE PARGED OR REPLACED IN KIND IN LOCATIONS OF DAMAGE.

INSTALL EXPANSION AND CONTROL JOINTS IN SIDEWALKS AT INTERVALS OF 5 FEET AND 25 FEET, RESPECTIVELY. PROVIDE BROOM FINISH IN TRANSVERSE DIRECTION ON ALL WALKS.

SIDEWALK WIDTHS INDICATED HEREON ARE MEASURED FROM BACK OF CURB TO BACK IF SIDEWALK 6' WIDTH OF CURBS NOT INCLUDED.

ALL CURB RADIUS DIMENSIONS SHOWN HEREON ARE MEASURED ALONG FACE OF CURB.

REFER TO LAYOUT PLAN FOR EXTENTS OF MILL AND OVERLAY AND FULL DEPTH PAVEMENT CONSTRUCTION AND PATCHING WHERE APPLICABLE.

ALL WORK CONDUCTED WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE LOCAL REQUIREMENTS AND SPECIFICATIONS.

ALL ACCESSIBLE ROUTES, RAMPS AND PARKING SPACES TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES AND THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB).

THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN:

DIMENSIONS FROM BUILDING ARE FROM FACE OF BUILDING.

DIMENSIONS ARE TO FACE OF CURB AT GUTTER LINE.

DIMENSIONS ARE TO THE CENTER OF PAVEMENT MARKINGS.

ALL LINES AND DIMENSIONS AND TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.

COORDINATE THE LOCATION OF ALL SITE LIGHT STANDARDS WITH IMPROVEMENTS SHOWN ON THESE DRAWINGS.

CONTRACTOR SHALL FURNISH AND SET ALL LINES AND GRADES REQUIRED AND PROTECT ALL PERMANENT BENCHMARKS OR MONUMENTS. DAMAGED MONUMENTS SHALL BE REPLACED BY A LICENSED SURVEYOR AT NO COST TO THE OWNER.

ALL BITUMINOUS CONCRETE PAVING SHALL COMPLY WITH THE MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, 1998 EDITION AS AMENDED. THE CONTRACTOR SHALL SUBMIT A JOB MIX FORMULA DEMONSTRATING COMPLIANCE WITH THESE SPECIFICATIONS...

BITUMINOUS CONCRETE PAVEMENT: CLASS I, TYPE I-1 CONFORMING TO THE STANDARD SPECIFICATIONS, SECTIONS 420 AND 460, AND M3.11.03 FOR BINDER COURSE AND TOP COURSE JOB MIX FORMULAS.

ALL CONCRETE WORK SHALL COMPLY WITH AC301, "SPECIFICATION FOR STRUCTURAL CONCRETE;" AND AC318R, UNLESS MODIFIED BY THE CONTRACT DOCUMENTS, COMPLY WITH CRSIS "MANUAL OF STANDARD PRACTICE" FOR FABRICATING, PLACING, AND SUPPORTING REINFORCEMENT...

SAW-CUT EXISTING PAVEMENT WHERE NEW BITUMINOUS CONCRETE PAVEMENT IS TO COME IN CONTACT, PRIME COAT THE CUT EDGE PRIOR TO PLACEMENT.

CONTRACTOR(S) SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS, AND ALL SITE CONDITIONS PRIOR TO CONSTRUCTION.

OUT OF FUNCTION OR SCREENED IMAGES REPRESENT EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPACTED BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED.

GRADING NOTES

THE CONTRACTOR SHALL VERIFY EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER OR HIS REPRESENTATIVE.

ALL STUMPS, PEAT, CONSTRUCTION DEBRIS AND OTHER DELETERIOUS MATERIALS ON THE SITE AT THE TIME OF CONSTRUCTION ARE TO BE REMOVED FROM THE SITE TO AN APPROVED LANDFILL. NO SUCH MATERIALS ARE TO BE BURIED OR OTHERWISE DISPOSED OF ON THE SITE...

FILL MATERIAL SHALL BE AS SPECIFIED BY THE ARCHITECT/ENGINEER AND SELECTED FROM ON-SITE EXCAVATION MATERIAL WHERE POSSIBLE.

AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ADJUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT, CURBS AND EARTHWORK SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS...

CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES AND PLANTING BEDS.

THE CONTRACTOR SHALL SCHEDULE HIS WORK TO ALLOW THE FINISHED SUBGRADE ELEVATIONS TO DRAIN PROPERLY WITHOUT PUDDLING. SPECIFICALLY, ALLOW WATER TO ESCAPE WHERE PROPOSED CURBS MAY RETAIN RUNOFF PRIOR TO APPLICATION OF THE FINISH SUBGRADE AND/OR SURFACE PAVING...

PITCH EVENLY BETWEEN SPOT GRADES. GRADE ALL AREAS TO DRAIN. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM OF 1/8" PER FOOT UNLESS OTHERWISE SPECIFIED. ANY DISCREPANCIES NOT ALLOWING THIS MINIMUM PITCH SHALL BE REPORTED TO THE OWNER OR HIS REPRESENTATIVE PRIOR TO CONTINUING WORK.

ACCESSIBLE CURB RAMPS, RAMP, LANDINGS, WALKWAYS, CROSSWALKS, PATIOS/PLAZAS AND PARKING AREAS SHALL BE PER THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB) AND THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY REQUIREMENTS...

A GEOTECHNICAL ENGINEER MAY BE RETAINED BY THE OWNER TO OBSERVE PERFORMANCE OF WORK, FOR CONFORMANCE WITH THESE CONTRACT DOCUMENTS, IN CONNECTION WITH EXCAVATING, TRENCHING, FILLING, BACKFILLING AND GRADING, AND TO PERFORM ASSOCIATED FIELD TESTS.

DURING THE PROGRESS OF THE WORK, THE CONTRACTOR MAY BE REQUIRED TO EXCAVATE ADDITIONAL TEST PITS FOR THE PURPOSE OF LOCATING UNDERGROUND UTILITIES OR STRUCTURES AS AN AID IN ESTABLISHING THE PRECISE LOCATION OF NEW WORK...

PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT AND OTHER HAZARDS CREATED BY CONTRACTOR OPERATIONS.

STOCKPILED TOPSOIL SHALL BE PLACED NEATLY IN AN AREA INDICATED BY THE OWNER.

EXISTING TREES AND SHRUBS OUTSIDE THE LIMITS OF GRADING SHALL BE REMOVED ONLY UPON PRIOR APPROVAL OF THE OWNER.

FILL DEPRESSIONS CAUSED BY TEST PITS AND CLEARING AND GRUBBING OPERATIONS WITH SATISFACTORY SOIL MATERIAL UNLESS FURTHER EXCAVATION OR EARTHWORK IS INDICATED.

THE CONTRACTOR SHALL PREVENT SURFACE WATER AND SUBSURFACE OR GROUNDWATER FROM FLOWING INTO EXCAVATIONS OR EARTHWORK AREAS WHICH WOULD CAUSE FLOODING OF THE PROJECT SITE AND SURROUNDING AREA, OR SOFTENING OR LOOSENING OF THE SOIL AT EXCAVATION OR EARTHWORK SUB-GRADA.

THE CONTRACTOR SHALL PROVIDE, INSTALL, OPERATE, MAINTAIN AND REMOVE ADEQUATE AND SATISFACTORY DEWATERING SYSTEMS AND DRAINAGE OF EXCAVATIONS TO PERMIT CONSTRUCTION TO PROCEED "IN THE DRY". THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR THE ADEQUACY OF THE METHODS, MATERIALS AND EQUIPMENT EMPLOYED...

THE CONTRACTOR SHALL PROHIBIT SEEPAGE, GROUNDWATER FLOW OR SURFACE INFILTRATION AND RUNOFF FROM UNDERMINING OR OTHERWISE DAMAGING ADJACENT STRUCTURES AND UTILITIES.

PAVING, CONCRETE WORK AND BASE COURSE PREPARATION SHALL BE DONE ONLY AFTER EXCAVATION AND CONSTRUCTION WORK WHICH MIGHT INJURE THEM HAS BEEN COMPLETED. DAMAGE CAUSED DURING CONSTRUCTION SHALL BE REPAIRED BEFORE ACCEPTANCE.

PAVEMENT OR BASE MATERIALS SHALL NOT BE PLACED ON A MUDDY OR FROZEN SUBGRADE.

ESTABLISHMENT OF GRADES, GRADE CONTROL, AND CONFORMANCE TO REQUIRED GRADE TOLERANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

PROTECT GRADED, FINISHED OR PAVED AREAS FROM DAMAGE AND KEEP THEM FREE OF TRASH AND DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS. REPAIR AND RE-ESTABLISH GRADES IN SETTLED, ERODED AND RUTTED AREAS.

PAVEMENT, LAWN OR PLANTING AREAS EXCAVATED DURING UTILITY CONSTRUCTION, WHETHER ON THE SITE OR ADJACENT PROPERTIES, SHALL BE RESTORED AND MATCHED WITH EXACTLY THE SAME MATERIALS AND TOLERANCES AS PRIOR TO DISRUPTION, AT NO ADDITIONAL COST TO THE OWNER, OR ADJACENT PROPERTY OWNERS.

DRAINAGE NOTES

ALL STORM DRAIN SHALL BE REINFORCED CONCRETE PIPE (RCP) PIPE UNLESS OTHERWISE NOTED. INSTALLATION OF ALL UTILITY STRUCTURES SHALL CONFORM TO MANUFACTURERS RECOMMENDATION.

REINFORCED CONCRETE PIPE SHALL CONFORM TO ASTM DESIGNATION C-76, CLASS III, REINFORCED CONCRETE PIPE SHALL CONFORM TO ASTM DESIGNATION C-76, CLASS III, WALL B WITH JOINTS AND GASKETS IN CONFORMANCE WITH ASTM C 443.

MANHOLES SHALL BE 48-INCH DIAMETER (UNLESS OTHERWISE SPECIFIED). CAST-IN-PLACE MANHOLES SHALL BE 48-INCH DIAMETER (UNLESS OTHERWISE SPECIFIED). CAST-IN-PLACE BASES SHALL BE USED WHERE MANHOLES ARE CONSTRUCTED OVER EXISTING PIPES.

FRAMES AND COVERS FOR DRAINAGE STRUCTURES SHALL PROVIDE A 24-INCH MINIMUM FRAMES AND COVERS FOR DRAINAGE STRUCTURES SHALL PROVIDE A 24-INCH DRAINAGE STRUCTURE COVERS SHALL HAVE THE WORD "DRAIN" CENTERED ON THE DRAINAGE STRUCTURE COVERS SHALL HAVE THE WORD "DRAIN" CENTERED ON THE COVER IN 3-INCH HIGH LETTERS.

MINIMUM CLEAR OPENING AND SHALL BE LEBARON TYPE LK110 OR APPROVED EQUAL.

SINGLE CATCHBASIN FRAMES AND GRATES SHALL BE LEBARON TYPE LF 248-2 OR AS SINGLE CATCHBASIN FRAMES AND GRATES SHALL BE LEBARON TYPE LF 248-2 OR AS REQUIRED BY TOWN OF WELLESLEY DPM.

DOUBLE CATCH BASIN FRAMES SHALL BE LEBARON ONE-PIECE LV2448-1 FRAMES OR DOUBLE CATCH BASIN FRAMES SHALL BE LEBARON ONE-PIECE LV2448-1 FRAMES OR APPROVED EQUAL. FOR DOUBLE CATCH BASIN GRATES, USE TWO LEBARON TYPE LF 248-2 OR APPROVED EQUAL.

FRAMES, GRATES AND COVERS SHALL BE SET FIRM AND TRUE TO GRADE. ADJUST FOR FRAMES, GRATES AND COVERS SHALL BE SET FIRM AND TRUE TO GRADE, ADJUST FOR GRADE WITH BRICK MASONRY.

ALL ON-SITE DRAIN LINES SHALL BE SMOOTH INTERIOR WALLED CORRUGATED ALL ON-SITE DRAIN LINES SHALL BE SMOOTH INTERIOR WALLED CORRUGATED POLYETHYLENE PIPE UNLESS OTHERWISE NOTED.

PRE-CAST CONCRETE STRUCTURES INCLUDING TANKS, BARREL SECTIONS, CATCHBASINS AND BASES SHALL CONFORM TO ASTM C478 AND AASHTO H520-44. PLACEMENT SHALL BE IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS. ALL PRE-CAST STRUCTURES INCLUDING JOINTS, SEALS, OPENINGS, ETC MUST BE WATERTIGHT.

AT THE END OF CONSTRUCTION, AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE CONTRACTOR SHALL CLEAN THE SUMPS OF ALL CATCH BASINS AND THE INVERTS OF ALL DRAIN MANHOLES.

ALL DRAIN LINES SHOWN SHALL BE 12" DIAMETER UNLESS OTHERWISE NOTED.

UTILITY NOTES

THE LOCATION OF UNDERGROUND UTILITIES AS REPRESENTED ON THESE PLANS IS BASED UPON EXISTING CONDITIONS PLANS AND POTENTIALLY INFORMATION PROVIDED BY THE LOCAL MUNICIPALITIES. ADDITIONAL INFORMATION MAY BE SUPPLEMENTED BY FIELD INVESTIGATIONS...

UNDERGROUND UTILITIES WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY UNDERGROUND UTILITIES WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE AND ASSUMED.

ALL PVC SANITARY SEWER SHALL BE SDR 35 WITH RUBBER RING JOINTS.

REFER TO PLUMBING PLANS FOR EXACT SIZE AND LOCATION OF SANITARY CONNECTIONS.

THE LOCAL MUNICIPAL WATER AND FIRE DEPARTMENTS SHALL BE NOTIFIED PRIOR TO THE START OF ANY WORK ON THE WATER SYSTEM.

THE PROPOSED WATER MAIN IS TO BE CL 52 CLDI. ALL FITTINGS, HYDRANTS, VALVES, ETC., USED ON THE SITE ARE TO BE IN ACCORDANCE WITH THE LOCAL UNICAL WATER DEPARTMENT SPECIFICATIONS.

HYDRANTS AND MINIMUM SIZING OF WATER PIPES SHALL BE SUBJECT TO THE APPROVAL OF THE (TOWN/CITY) FIRE CHIEF.

THE CONTRACTOR SHALL NOTIFY THE LOCAL MUNICIPAL DEPARTMENT OF PUBLIC WORKS AT LEAST 48 HOURS IN ADVANCE OF ANY REQUIRED INSPECTIONS.

UNDERGROUND INFRASTRUCTURE LOCATED IN THE PUBLIC WAY SHALL BE SUBJECT TO THE APPROVAL OF THE LOCAL MUNICIPAL DEPARTMENT OF PUBLIC WORKS.

NO LEDGE, BOULDERS, OR OTHER UNYIELDING MATERIALS SHALL BE LEFT WITHIN 6" OF THE WATER AND SEWER IN THE TRENCH. NOR ARE THEY TO BE USED FOR BACKFILL FOR THE FIRST 12" ABOVE THE PIPES.

THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO TAPPING INTO, CROSSING OR EXTENDING THEM. IF THE NEW WORK POSSES A CONFLICT WITH EXISTING UTILITIES, THE ENGINEER IS TO BE NOTIFIED PRIOR TO THE CONTRACTOR CONTINUING.

EXCAVATION SHALL BE TO THE LINES AND ELEVATIONS AS SHOWN ON THE PLANS.

ALL MATERIALS FOR INSTALLATION OF WATER, SEWER, DRAIN, GAS, DATA/ELECOM, AND ELECTRICITY SHALL BE IN ACCORDANCE WITH LOCAL STATE AND UTILITY COMPANY STANDARDS AND REGULATIONS AS THEY APPLY.

ALL BENDS, TEES, VALVES, AND HYDRANTS ARE TO BE SECURED BY MEANS OF THREADED TIE RODS.

THREE CUBIC FEET OF CRUSHED STONE IS TO BE PLACED AROUND THE DRAIN HOLE IN ALL HYDRANTS. HYDRANTS ARE TO CONFORM TO THE (TOWN/CITY) OF (TOWN/CITY) STANDARD SPECIFICATIONS.

UNLESS OTHERWISE NOTED ALL UTILITY TRENCHES ARE TO BE BACKFILLED WITH BANK RUN GRAVEL. NO STONES GREATER THAN 3" IN DIAMETER ARE TO BE USED WITHIN 12" OF THE PIPES. THE TRENCHES, WHEN UNDER PROPOSED PAVED AREAS, ARE TO BE MECHANICALLY COMPACTED IN 12" LIFTS.

NO LEDGE, BOULDERS OR OTHER UNYIELDING MATERIALS ARE TO BE LEFT WITHIN 6" OF THE WATER MAIN IN THE TRENCH NOR ARE THEY TO BE USED FOR BACKFILL IN THE TRENCH.

THE SITE CONTRACTOR IS TO INSTALL A GAS SERVICE IN THE APPROXIMATE LOCATION SHOWN ON THE PLANS. THE SIZE AND EXACT LOCATION OF THE SERVICE IS TO BE DETERMINED AND COORDINATED WITH THE PLUMBING PLANS AND ALL EARTHEN PERIMETER SIDE SLOPES THAT ARE GRADED AND ARE NOT SCHEDULED FOR PERMANENT STABILIZATION WITHIN 30 DAYS OF COMPLETION ARE TO BE COVERED WITH HAY OR WOOD CHIP MULCH. BIODEGRADABLE EROSION CONTROL FABRIC OR HYDROSEEDING WITH A TEMPORARY GRASS MIXTURE IF WEATHER CONDITIONS WILL BE CONDUCTIVE TO GERMINATION OF THE SEED.

THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES, AS REQUIRED. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE OWNER AND ARCHITECT FOR RESOLUTION.

BEFORE COMMENCING SITE WORK IN ANY AREA, CONTRACTOR SHALL CONTACT "DIG SAFE" AT 1-888-DIG-SAFE, 811 OR WWW.DIGSAFE.COM 72 WORKING HOURS IN ADVANCE TO ACCURATELY LOCATE UNDERGROUND UTILITIES. IN ADDITION, CONTRACTOR SHALL CONTACT OTHER MUNICIPAL OFFICIALS SUCH AS WATER AND SEWER IF APPLICABLE.

ALL UTILITY COVERS, GRATES, ETC. SHALL BE ADJUSTED TO BE FLUSH WITH THE PAVEMENT FINISH GRADE UNLESS OTHERWISE NOTED. RIM ELEVATIONS OF DRAINAGE STRUCTURES AND MANHOLES ARE APPROXIMATE.

CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY DAMAGE TO THESE FACILITIES RESULTING FROM CONSTRUCTION LOADS WILL BE RESTORED TO ORIGINAL CONDITION AT NO COST TO OWNER. NO EXCAVATION SHALL BE DONE UNTIL UTILITY COMPANIES ARE PROPERLY NOTIFIED IN ADVANCE.

EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.

THE CONTRACTOR SHALL ALTER THE MASONRY OF THE TOP SECTION OF ALL EXISTING DRAINAGE STRUCTURES AS NECESSARY FOR CHANGES IN GRADE, AND RESET ALL WATER AND DRAINAGE FRAMES, GRATES AND BOXES TO THE PROPOSED FINISH SURFACE GRADE.

PROVIDE UNDERGROUND ELECTRIC CONDUIT FOR SITE LIGHTS AS APPROPRIATE.

ENSURE ALL EXISTING (TO REMAIN) AND PROPOSED MANHOLE COVERS PROPERLY IDENTIFY UTILITY SERVED.

UNLESS OTHERWISE INDICATED, ABANDONED EXISTING UTILITY LINES SHALL BE CAPPED AND ABANDONED IN PLACE UNLESS THEY CONFLICT WITH PROPOSED IMPROVEMENTS. CAP REMAINING PORTIONS WHERE PARTIALLY REMOVED.

REFER TO ELECTRICAL DRAWINGS FOR ALL SITE ELECTRICAL WORK.

THE CONTRACTOR SHALL COLLECT AND DISPOSE OF WATER FROM ALL SYSTEMS IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS AND OBTAIN ALL NECESSARY PERMITS.

ANY WATER PUMPED FROM EXCAVATIONS WILL BE CONVEYED BY HOSE TO AN UPLAND ANY WATER PUMPED FROM EXCAVATIONS WILL BE CONVEYED BY HOSE TO AN UPLAND AREA AND DISCHARGED INTO HAYBALE CORRALS OR SEDIMENTATION BAGS.



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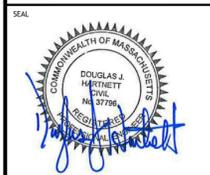
1 WASHINGTON MALL | Suite 701 BOSTON, MA 02108

Consultant:

Contractor:

Scale:

Date: 08-14-2023



08-14-2023

Owner/Applicant: Berkeley Partners

Project Number: 22051

Drawn By: JJP

Checked By: DJH

Issue Date: 05/11/2023

Project Number: 22051

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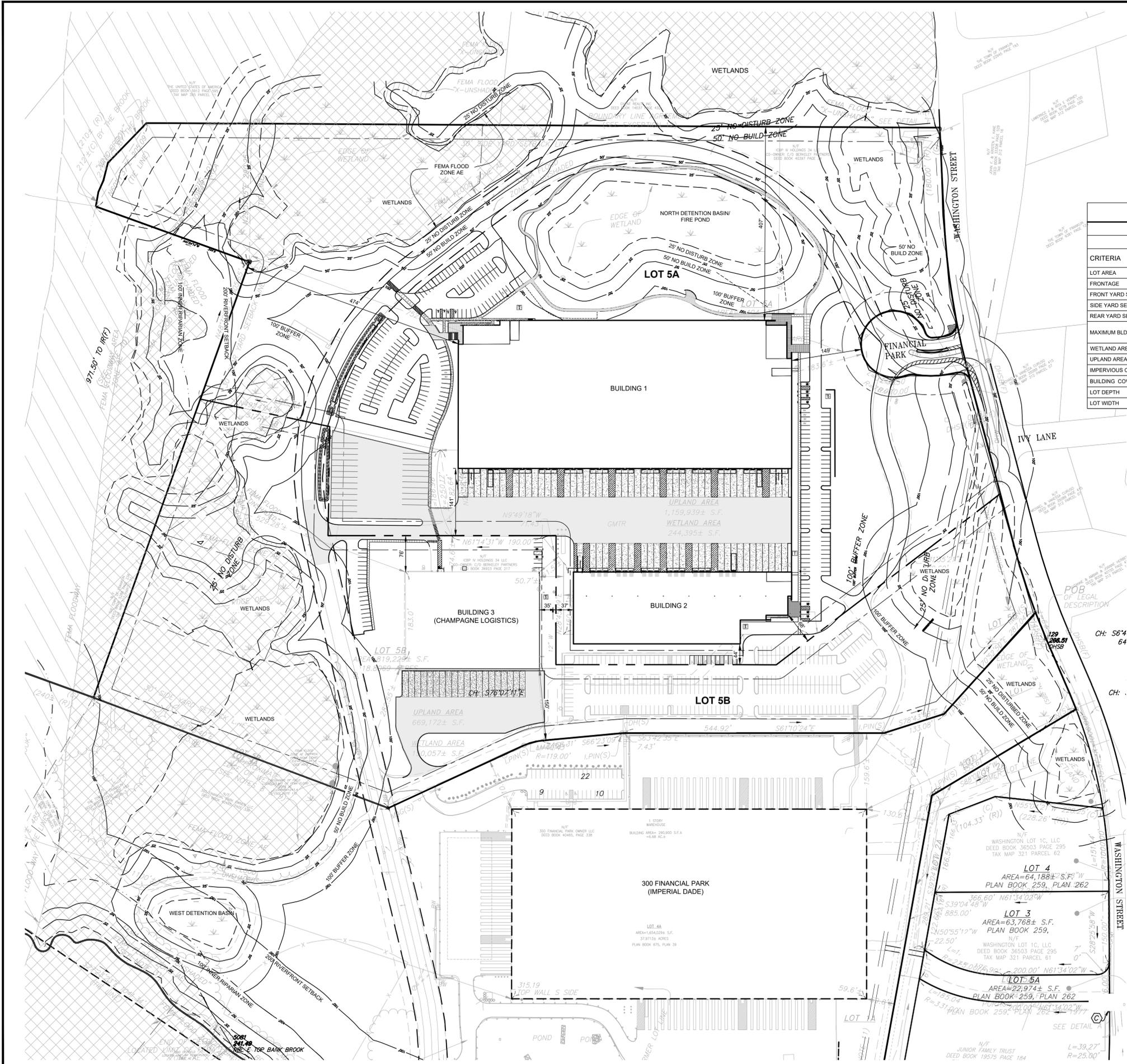
Project Number: 22051

Drawn By: JJP



08-14-2023

WAREHOUSE/INDUSTRIAL DEVELOPMENT  
100/200 FINANCIAL PARK  
FRANKLIN, MA  
OWNER/APPLICANT: BERKELEY PARTNERS



**COMPLIANCE SUMMARY - BUILDING AND SITE DIMENSIONAL REQUIREMENTS**

ZONING DISTRICT: INDUSTRIAL (I)  
OVERLAY DISTRICT: WATER RESOURCE DISTRICT

CRITERIA	REQUIRED	EXISTING LOTS 5A / 5B	LOT 5A	LOT 5B	COMPLIANCE
LOT AREA	40,000 SF	32.24 / 18.81 ± AC	34.13 +/- AC	16.93 +/- AC	YES
FRONTAGE	175 FT	1219 / 260 ± FT	890 ± FT	260 ± FT	YES
FRONT YARD SETBACK	40 FT	183.6 / >40 FT	149 FT	>40 FT	YES
SIDE YARD SETBACK	30 FT	50.8 / 50.7 FT	37 FT	35 FT	YES
REAR YARD SETBACK	30 FT	752.3 / 529.3 FT	474 FT	529 FT	YES
MAXIMUM BLDG. HEIGHT	3 STORIES	1 / 2 STORIES	≤ 2 STORIES	≤ 2 STORIES	YES
	----	24 / 40 FT	40 FT	40 FT	----
WETLAND AREA	----	244,395 / 150,057 SF	244,395 SF	150,057 SF	----
UPLAND AREA	----	1,159,939 / 669,172 SF	1,242,486 SF	587,507 SF	----
IMPERVIOUS COVERAGE	80%	31% / 70%	52%	46%	YES
BUILDING COVERAGE	70%	16% / 9%	22%	10%	YES
LOT DEPTH	200 FT	>200 FT	>200 FT	>200 FT	YES
LOT WIDTH	157.5 FT	>157.5 FT	>157.5 FT	>157.5 FT	YES

- NOTES:
1. IMPERVIOUS COVERAGE PERCENTAGE IS CALCULATED AS IMPERVIOUS AREA / UPLAND AREA AS DEFINED IN THE FRANKLIN ZONING BYLAW.
  2. THE FINANCIAL PARK CUL-DE-SAC (RIGHT-OF-WAY) IS EXCLUDED FROM THE AREAS USED FOR THE CALCULATIONS IN THIS CHART.
  3. BUILDING COVERAGE PERCENTAGE IS CALCULATED AS BUILDING FOOTPRINT AREA / UPLAND AREA AS DEFINED IN THE FRANKLIN ZONING BYLAW.
  4. PARCELS 5A & 5B SHALL BE RECONFIGURED TO MAINTAIN ZONING COMPLIANCE FOR THE DEVELOPMENT PLAN. APPROVAL OF AN ANR PLAN BY THE PLANNING BOARD IS REQUIRED.

**PARKING SUMMARY**

	GROSS FLOOR AREA	REQUIRED	PROVIDED
<b>BUILDING 1</b>			
PROPOSED WAREHOUSE	206,500 GSF	207 SP.	-
PROPOSED OFFICE	13,500 GSF	54 SP.	-
SUBTOTAL		261 SP.	
<b>BUILDING 2</b>			
PROPOSED WAREHOUSE	57,750 GSF	58 SP.	-
PROPOSED OFFICE	7,250 GSF	29 SP.	-
SUBTOTAL		87 SP.	
<b>BUILDING 3</b>			
EXISTING WAREHOUSE	65,000 GSF ±	65 SP.	-
PROPOSED TOTAL	350,000 GSF ±	413 SP.	262 SP.

**VEHICULAR PARKING REQUIREMENTS**

DESCRIPTION	CALCULATION
OFFICE SPACE	1 PARKING SPACE PER 250 GSF
WAREHOUSE	1 PARKING SPACE PER 1,000 GSF

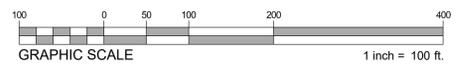
- NOTES:
1. A PARKING WAIVER IS REQUIRED FROM THE FRANKLIN PLANNING BOARD.

**SYMBOL LEGEND**

[Pattern]	PROPOSED HEAVY DUTY BIT. CONC.
[Pattern]	PROPOSED BIT. CONC.
[Pattern]	PROPOSED CONCRETE
<b>FEMA LEGEND</b>	
[Pattern]	FLOOD ZONE "X"
[Pattern]	FLOOD ZONE "AE"
[Pattern]	FLOOD WAY

**ELEVATION BENCH MARKS**

NO.	DESCRIPTION	ELEV.
L	MAGNETIC NAIL IN PAVEMENT	266.93
M	MAGNETIC NAIL IN PAVEMENT	254.42
N	MAGNETIC NAIL IN PAVEMENT	251.92



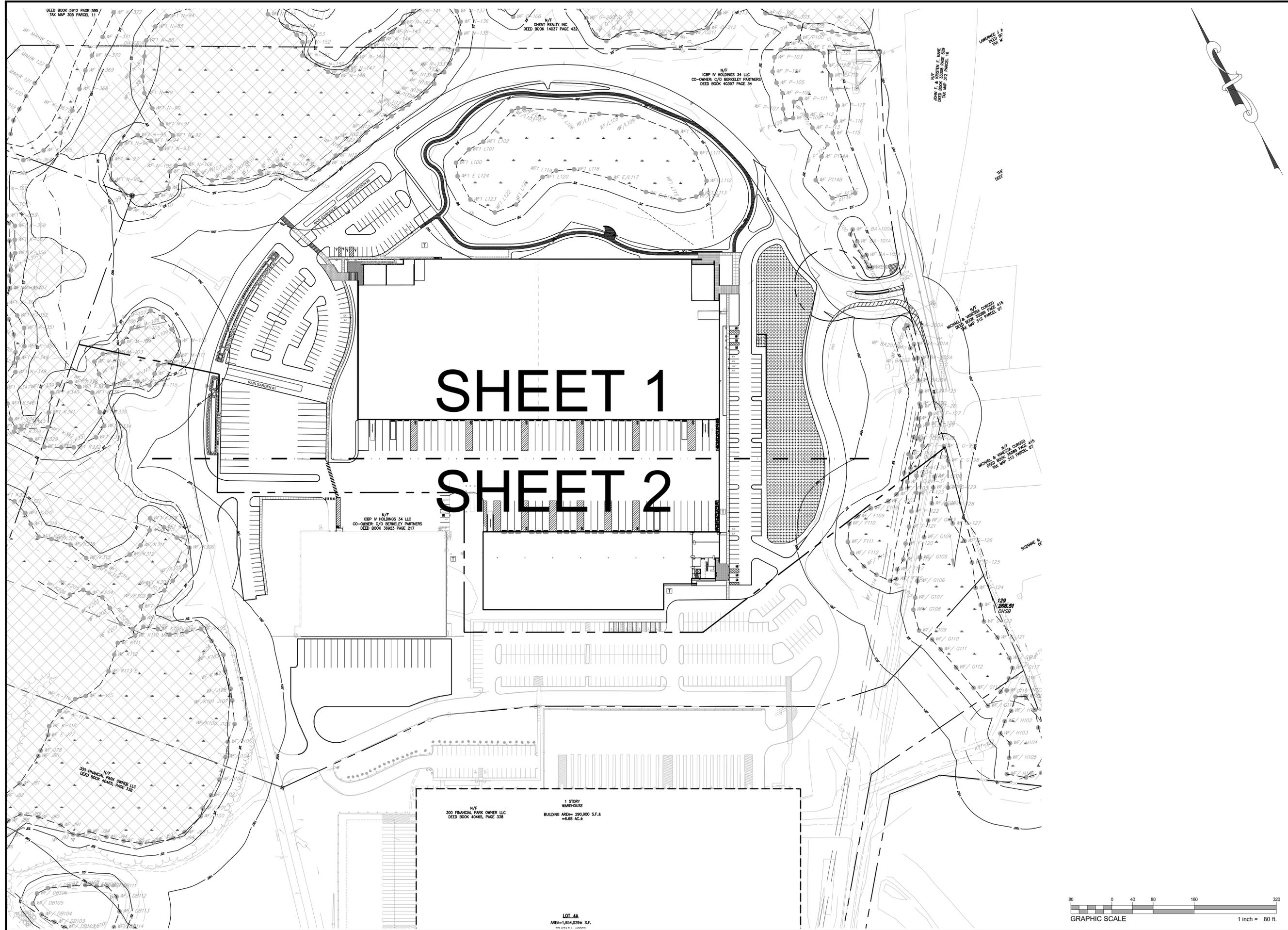
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2	08-14-2023	RESPONSE TO COMMENTS
1	07-17-2023	RESPONSE TO COMMENTS

ISSUE TYPE:  
PERMIT SET  
ISSUE DATE:  
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PROJECT NUMBER:  
22051

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CHECKED BY: DJH  
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SHEET TITLE:  
**SITE CONFORMANCE PLAN**

SHEET NUMBER:  
**C100**



SHEET 1

SHEET 2

1 STORY WAREHOUSE  
BUILDING AREA= 290,900 S.F.  
6.68 AC.

LOT 4A  
AREA=1,654,029 S.F.



CLIENT:  
Berkeley Partners  
1 WASHINGTON MALL | Suite 701  
BOSTON, MA 02108

CONSULTANT:



WAREHOUSE/INDUSTRIAL DEVELOPMENT  
100/200 FINANCIAL PARK  
FRANKLIN, MA  
OWNER/APPLICANT: BERKELEY PARTNERS

REV	DATE	DESCRIPTION
2	08.14.2023	RESPONSE TO COMMENTS
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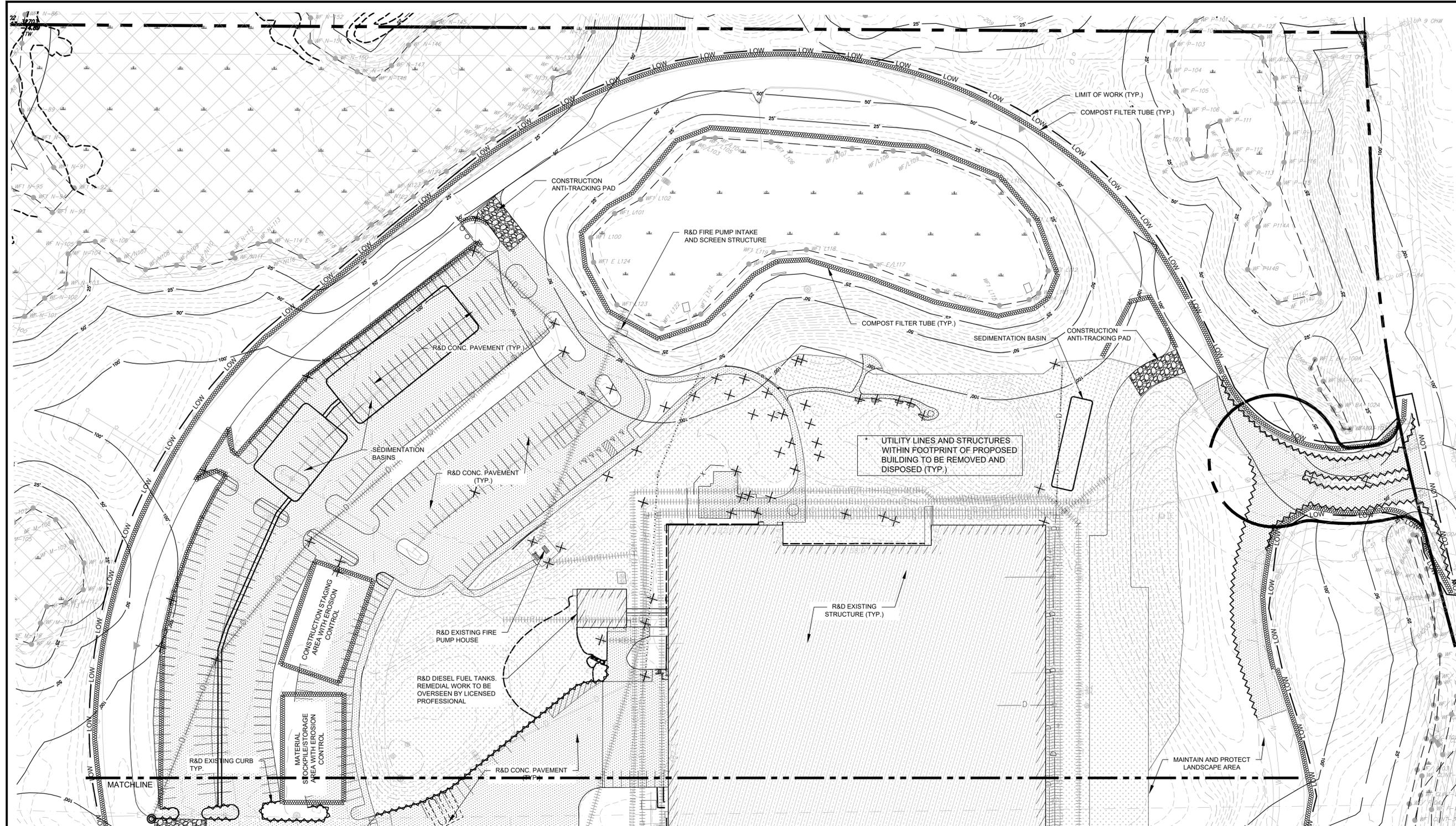
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KEY SHEET

SHEET NUMBER:  
**C101**

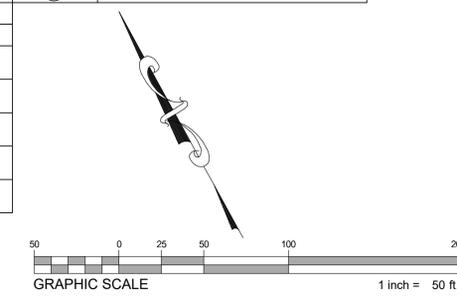
ISSUED FOR: PERMIT





- NOTE:
- SEE SHEET G100 FOR GENERAL SOIL EROSION AND SEDIMENTATION CONTROL & SITE PREPARATION NOTES
  - ALL SLOPES WITH A GRADE OF 3:1 (H:V, 33.3%) OR STEEPER, ARE TO BE TREATED WITH JUTE MESH FOR STABILIZATION CONTROL. (TYP.) REFER TO DETAIL
  - NO DISCHARGES FROM TEMPORARY SEDIMENTATION BASINS ARE TO BE CONNECTED TO THE MUNICIPAL STORM WATER SYSTEM.
  - PRIOR TO COMMENCEMENT OF CONSTRUCTION, ANY RELOCATED AND RECONSTRUCTED EXISTING PUBLIC WATER AND SEWER UTILITIES THAT RUN THROUGH THE SITE SHALL BE COORDINATED WITH FRANKLIN UTILITIES.
  - BUILDING DEMOLITION AND ANY REQUIRED ABATEMENT SHALL BE COMPLETED UNDER THE SUPERVISION OF A LICENSED SITE PROFESSIONAL IN ACCORDANCE WITH MASSACHUSETTS STATE LAWS.

SYMBOL LEGEND			
	STRAW WATTLE EROSION CONTROL BARRIER	M&P	MAINTAIN AND PROTECT
	SILTSACK CATCH BASIN INSERT	R&D	REMOVE AND DISPOSE
	CONSTRUCTION ANTI-TRACKING PAD		DENOTES TREE TO BE REMOVED
	R&D EXISTING UTILITY LINE		
	R&D EXISTING CURB		
	R&D EXISTING STRUCTURE		
	R&D PAVEMENT/CONCRETE AND GRAVEL BASE LAYER		
	STRIP LOAM AND STOCKPILE ON SITE		
	SEAL COAT CRACKS & PATCH		
	REMOVE & DISPOSE EXISTING OBJECT		



**HIGHPOINT ENGINEERING, INC.**  
 LAND PLANNING  
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 Berkeley Partners  
 1 WASHINGTON MALL | Suite 701  
 BOSTON, MA 02108

CONSULTANT:

SEAL

08-14-2023

**WAREHOUSE/INDUSTRIAL DEVELOPMENT**

100/200 FINANCIAL PARK  
 FRANKLIN, MA

OWNER/APPLICANT: BERKELEY PARTNERS

REV	DATE	DESCRIPTION
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1	07-17-2023	RESPONSE TO COMMENTS

ISSUE TYPE:  
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ISSUE DATE:  
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PROJECT NUMBER:  
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DRAWN BY: WAH/JRO/CCL  
 CHECKED BY: DJH

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SHEET TITLE:  
**SITE  
 PREPARATION &  
 EROSION  
 CONTROL PLAN**

SHEET NUMBER:  
**C200**

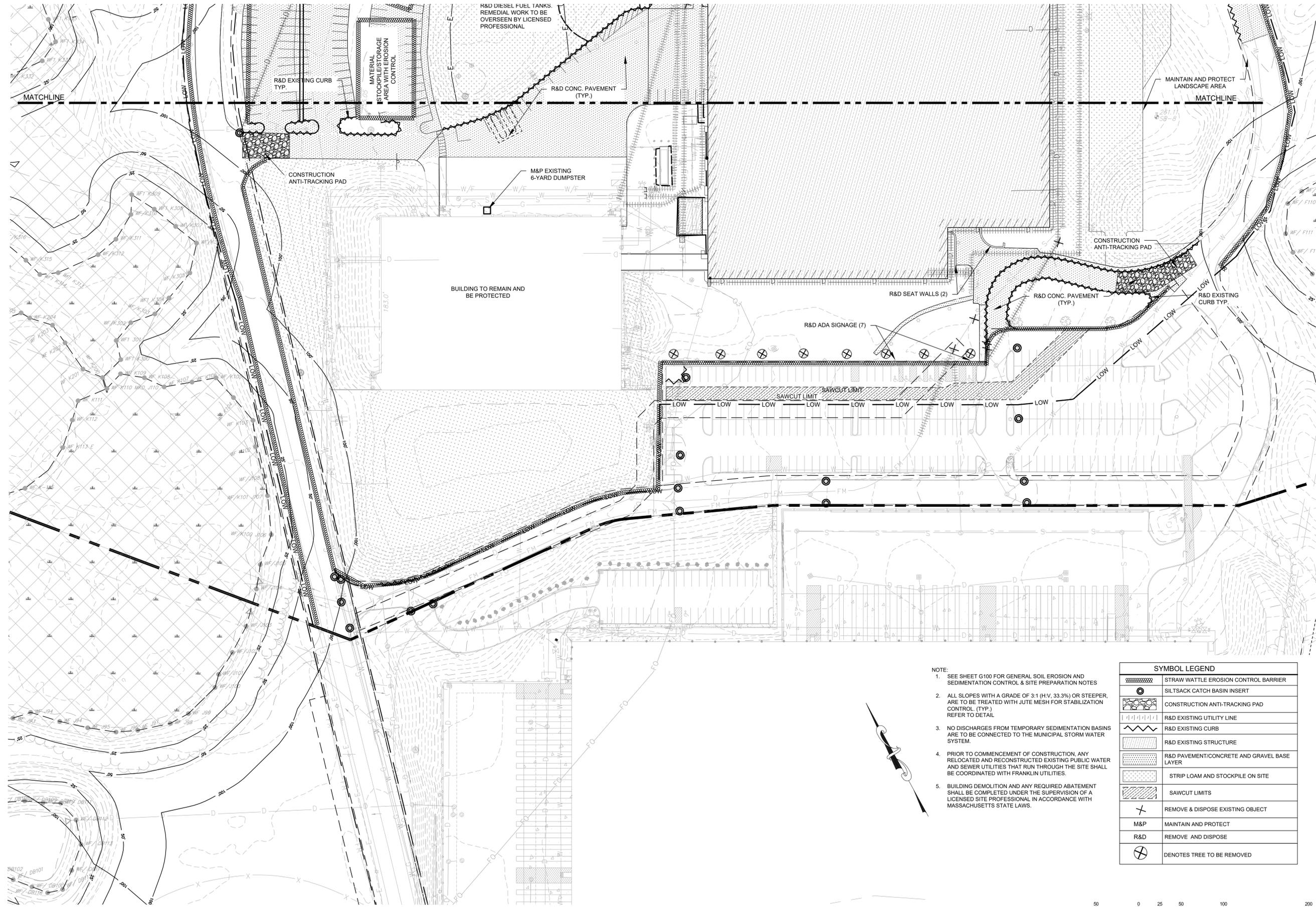
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08-14-2023

WAREHOUSE/INDUSTRIAL DEVELOPMENT  
100/200 FINANCIAL PARK  
FRANKLIN, MA

OWNER/APPLICANT: BERKELEY PARTNERS



- NOTE:
- SEE SHEET G100 FOR GENERAL SOIL EROSION AND SEDIMENTATION CONTROL & SITE PREPARATION NOTES
  - ALL SLOPES WITH A GRADE OF 3:1 (H.V. 33.3%) OR STEEPER, ARE TO BE TREATED WITH JUTE MESH FOR STABILIZATION CONTROL. (TYP.) REFER TO DETAIL
  - NO DISCHARGES FROM TEMPORARY SEDIMENTATION BASINS ARE TO BE CONNECTED TO THE MUNICIPAL STORM WATER SYSTEM.
  - PRIOR TO COMMENCEMENT OF CONSTRUCTION, ANY RELOCATED AND RECONSTRUCTED EXISTING PUBLIC WATER AND SEWER UTILITIES THAT RUN THROUGH THE SITE SHALL BE COORDINATED WITH FRANKLIN UTILITIES.
  - BUILDING DEMOLITION AND ANY REQUIRED ABATEMENT SHALL BE COMPLETED UNDER THE SUPERVISION OF A LICENSED SITE PROFESSIONAL IN ACCORDANCE WITH MASSACHUSETTS STATE LAWS.

SYMBOL LEGEND	
	STRAW WATTLE EROSION CONTROL BARRIER
	SILTSACK CATCH BASIN INSERT
	CONSTRUCTION ANTI-TRACKING PAD
	R&D EXISTING UTILITY LINE
	R&D EXISTING CURB
	R&D EXISTING STRUCTURE
	R&D PAVEMENT/CONCRETE AND GRAVEL BASE LAYER
	STRIP LOAM AND STOCKPILE ON SITE
	SAWCUT LIMITS
	REMOVE & DISPOSE EXISTING OBJECT
	M&P MAINTAIN AND PROTECT
	R&D REMOVE AND DISPOSE
	DENOTES TREE TO BE REMOVED



REV	DATE	DESCRIPTION
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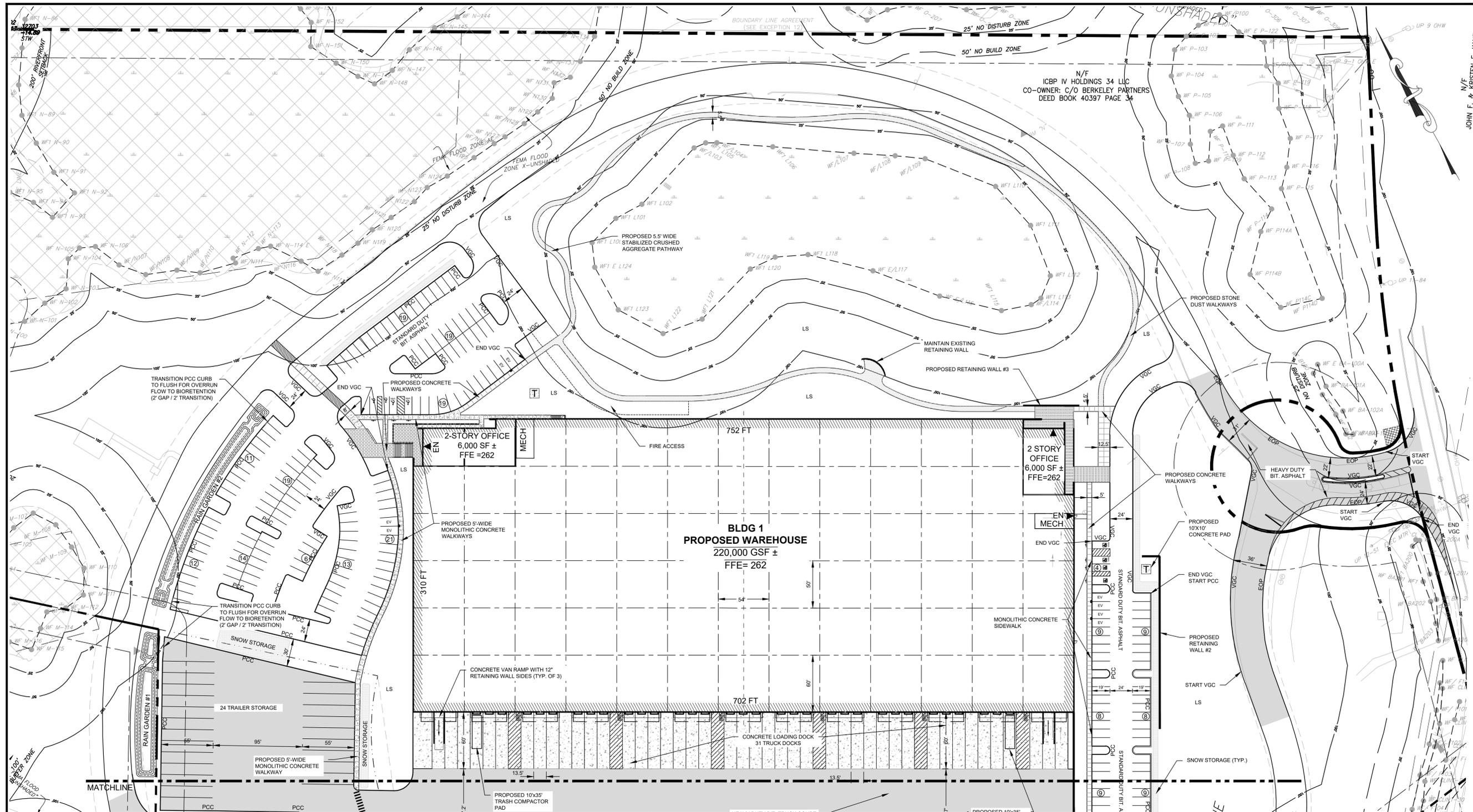
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SITE PREPARATION & EROSION CONTROL PLAN

SHEET NUMBER:  
**C201**

ISSUED FOR: PERMIT



SYMBOL LEGEND	
EOP	EDGE OF PAVEMENT
CCB	CAPE COD BERM
PCC	PRECAST CONCRETE CURB
VGC	VERTICAL GRANITE CURB
SGC	SLOPED GRANITE CURB
(14)	PARKING SPACE COUNT
[Hatched]	PATCH, CRACK SEAL, AND SEALCOAT EXISTING BIT. CONC.
[Dotted]	PROPOSED HEAVY DUTY BIT. CONC.
[White]	PROPOSED BIT. CONC.
[Stippled]	PROPOSED CONCRETE
LS	PROPOSED LANDSCAPE
EN	PROPOSED BUILDING EGRESS
RW	PROPOSED RETAINING WALL
[Square]	PROPOSED ELECTRICAL PADS
[Circle]	PROPOSED ACCESSIBLE STALL

- NOTES**
- PROPOSED RETAINING WALLS SHALL MATCH EXISTING SEGMENTAL RETAINING WALL SYSTEM ON SITE. USE STONE STRONG SEGMENTAL RETAINING WALL SYSTEM OR EQUAL.
  - PROPOSED DRIVEWAYS AND PARKING AREAS SHALL BE CONSTRUCTED WITH STANDARD DUTY PAVEMENT SYSTEM UNLESS OTHERWISE DEPICTED ON THIS PLAN.

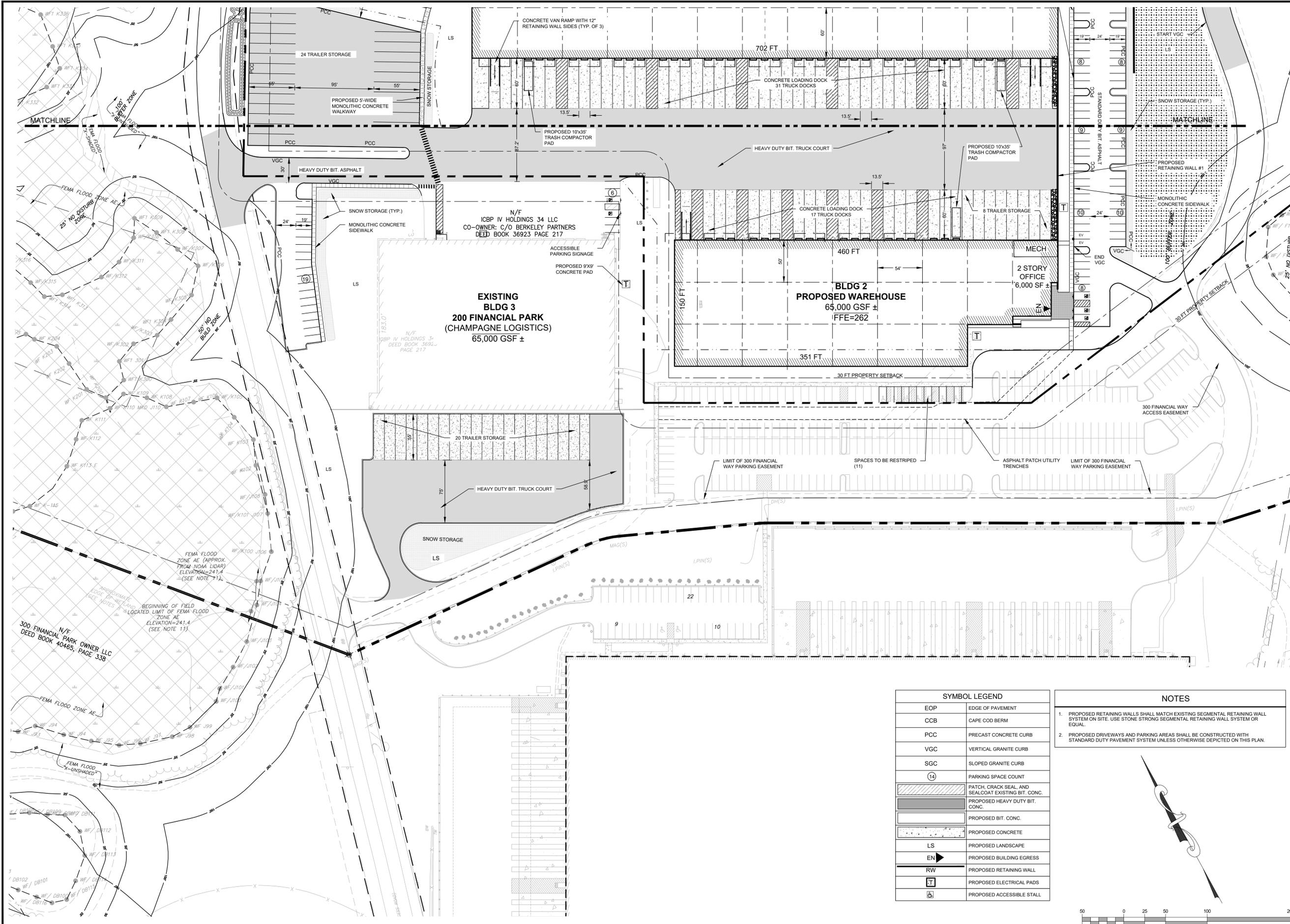


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SHEET TITLE:  
**LAYOUT & MATERIALS PLAN**

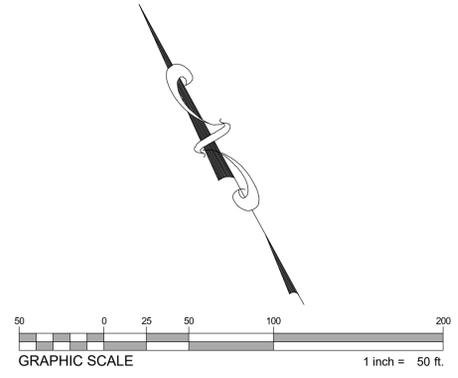
SHEET NUMBER:  
**C300**



**SYMBOL LEGEND**

EOP	EDGE OF PAVEMENT
CCB	CAPE COD BERM
PCC	PRECAST CONCRETE CURB
VGC	VERTICAL GRANITE CURB
SGC	SLOPED GRANITE CURB
(14)	PARKING SPACE COUNT
	PATCH, CRACK SEAL AND SEALCOAT EXISTING BIT. CONC.
	PROPOSED HEAVY DUTY BIT. CONC.
	PROPOSED BIT. CONC.
	PROPOSED CONCRETE
LS	PROPOSED LANDSCAPE
EN	PROPOSED BUILDING EGRESS
RW	PROPOSED RETAINING WALL
	PROPOSED ELECTRICAL PADS
	PROPOSED ACCESSIBLE STALL

- NOTES**
- PROPOSED RETAINING WALLS SHALL MATCH EXISTING SEGMENTAL RETAINING WALL SYSTEM ON SITE. USE STONE STRONG SEGMENTAL RETAINING WALL SYSTEM OR EQUAL.
  - PROPOSED DRIVEWAYS AND PARKING AREAS SHALL BE CONSTRUCTED WITH STANDARD DUTY PAVEMENT SYSTEM UNLESS OTHERWISE DEPICTED ON THIS PLAN.



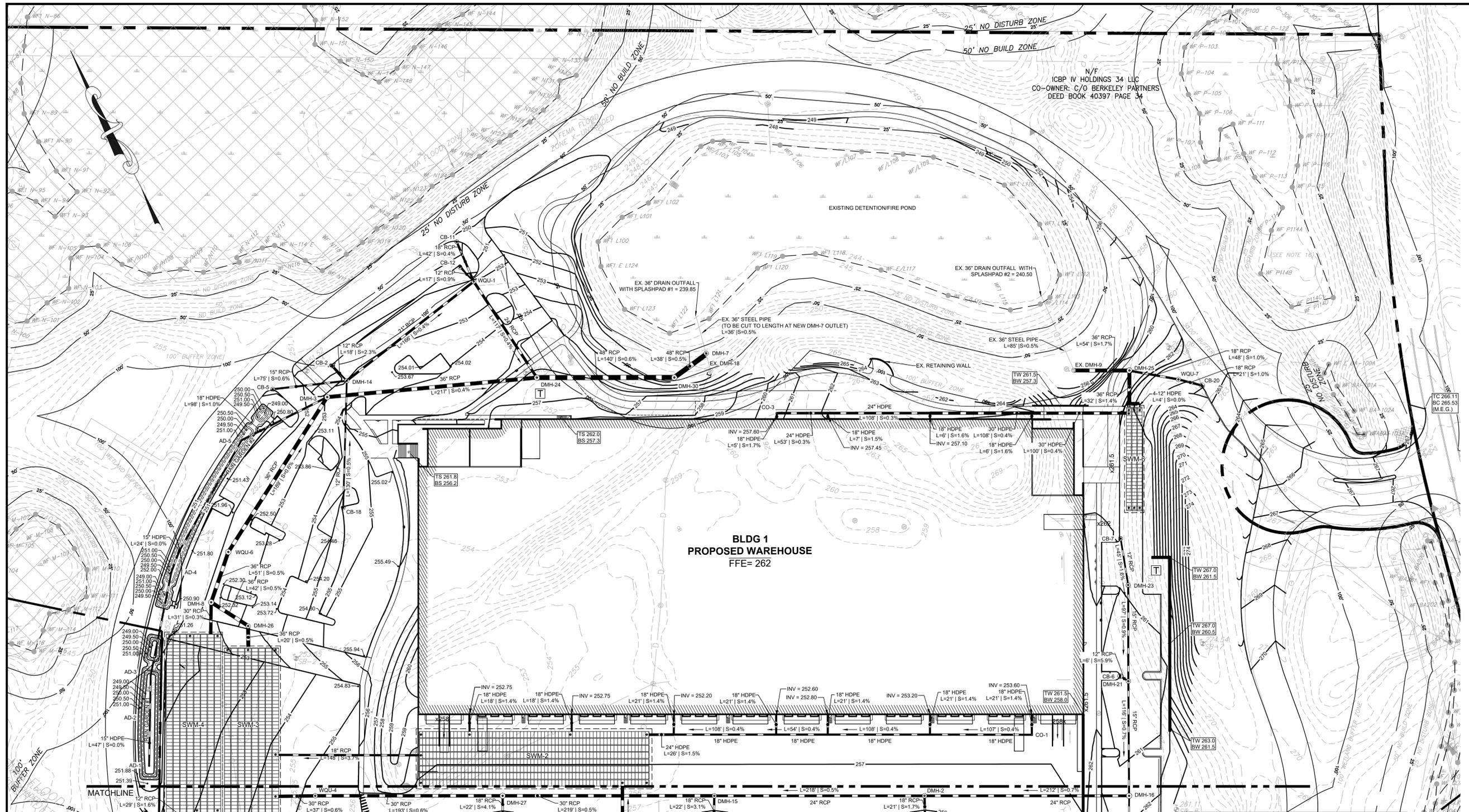
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SHEET TITLE:

**LAYOUT & MATERIALS PLAN**



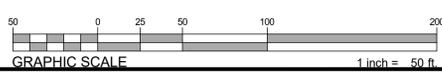
**BLDG 1  
PROPOSED WAREHOUSE  
FFE= 262**

STRUCTURE	ELEV.	STRUCTURE	ELEV.	STRUCTURE	ELEV.	STRUCTURE	ELEV.	STRUCTURE	ELEV.
AD-1 15' AREA DRAIN	RIM = 250.50 INV OUT = 247.50 (AD-2)	CB-6 DOUBLE GRATE	RIM = 260.01 INV OUT = 255.70 (DMH-21)	CO-3 18" NYLOPLAST CLEANOUT	RIM = 260.68 INV IN = 257.50 (BLDG 1 - North 1) INV OUT = 257.50 (BLDG 1 TEE 1 N)	DMH-16 6' DIA. DMH	RIM = 261.56 INV IN = 254.00 (DMH-21) INV IN = 256.30 (DMH-5) INV OUT = 251.50 (DMH-2)	DMH-30 6' DIA. DMH	RIM = 252.62 INV IN = 241.30 (DMH-24) INV OUT = 241.20 (DMH-7)
AD-2 15' AREA DRAIN	RIM = 249.35 INV IN = 247.50 (AD-1) INV OUT = 247.50 (AD-3)	CB-7 SINGLE GRATE	RIM = 261.47 INV OUT = 256.80 (DMH-23)	DMH-2 4' DIA. DMH	RIM = 256.31 INV IN = 250.00 (DMH-16) INV IN = 250.10 (CB-8) INV OUT = 254.90 (DMH-16)	DMH-21 4' DIA. DMH	RIM = 260.17 INV IN = 255.10 (CB-6) INV IN = 255.00 (DMH-23) INV OUT = 254.90 (DMH-16)	WQU-1 CASCADE CS-4	RIM = 252.06 INV IN = 250.00 (DMH-14) INV IN = 248.00 (CB-11) INV OUT = 246.60 (DMH-24)
AD-3 15' AREA DRAIN	RIM = 250.50 INV IN = 247.50 (AD-2) INV OUT = 247.50 (AD-4)	CB-11 SINGLE GRATE	RIM = 250.89 INV OUT = 246.80 (WQU-1)	DMH-3 5' DIA. DMH	RIM = 253.15 INV IN = 243.20 (WQU-6) INV IN = 246.50 (AD-5) INV IN = 243.10 (DMH-24)	DMH-23 4' DIA. DMH	RIM = 261.16 INV IN = 256.00 (CB-7) INV OUT = 254.90 (DMH-21)	WQU-4 CASCADE CS-4	RIM = 255.29 INV IN = 248.20 (DMH-27) INV OUT = 246.10 (SWM-3 IN)
AD-4 15' AREA DRAIN	RIM = 250.50 INV IN = 247.50 (AD-3) INV OUT = 247.50 (RG#2 TEE)	CB-18 SINGLE GRATE	RIM = 251.14 INV OUT = 248.00 (DMH-14)	DMH-7 4' DIA. DMH	RIM = 258.22 INV IN = 241.00 (DMH-3) INV IN = 246.00 (WQU-1) INV OUT = 242.10 (DMH-30)	DMH-24 5' DIA. DMH	RIM = 266.22 INV IN = 241.00 (DMH-3) INV IN = 246.00 (WQU-1) INV OUT = 242.10 (DMH-30)	WQU-6 CASCADE CS-6	RIM = 252.17 INV IN = 244.50 (DMH-8) INV IN = 244.40 (DMH-3)
AD-5 15' AREA DRAIN	RIM = 249.97 INV IN = 247.50 (AD-2) INV OUT = 247.50 (DMH-3)	CB-20 DOUBLE GRATE	RIM = 262.68 INV OUT = 256.85 (WQU-7)	DMH-8 5' DIA. DMH	RIM = 252.15 INV IN = 244.50 (SWM-4 OUT) INV IN = 245.50 (DMH-26) INV IN = 244.80 (WQU-6)	DMH-25 5' DIA. DROP DMH	RIM = 260.76 INV IN = 256.60 (SWM-6 OUT) INV IN = 251.00 (WQU-7) INV OUT = 251.00 (EX. DMH-9)	WQU-7 CDS2015-4-C	RIM = 262.50 INV IN = 256.00 (CB-20) INV OUT = 256.50 (DMH-25)
CB-2 SINGLE GRATE	RIM = 252.16 INV OUT = 247.80 (DMH-14)	CO-1 18" NYLOPLAST CLEANOUT	RIM = 257.59 INV IN = 253.30 (BLDG 1 - South 1) INV OUT = 253.30 (RL TEE 1)	DMH-14 4' DIA. DMH	RIM = 253.01 INV IN = 247.30 (CB-2) INV IN = 247.30 (CB-5) INV IN = 247.30 (CB-18) INV OUT = 247.20 (WQU-1)	DMH-26 4' DIA. DMH	RIM = 253.21 INV IN = 245.40 (I) INV OUT = 245.30 (DMH-8)		
CB-5 SINGLE GRATE	RIM = 251.80 INV OUT = 247.80 (DMH-14)			DMH-15 4' DIA. DMH	RIM = 256.32 INV IN = 248.70 (DMH-2) INV IN = 248.70 (CB-9) INV OUT = 248.60 (DMH-27)	DMH-27 5' DIA. DMH	RIM = 256.32 INV IN = 247.50 (DMH-15) INV IN = 247.50 (CB-19) INV OUT = 247.40 (WQU-4)		

STRUCTURE	SYSTEM ELEV.	SYSTEM CONNECTIONS
SWM-2: CULTEC R902HD 249.03' x 63.25' 528 TOTAL CHAMBERS (8 ROWS x 66 CHAMBERS)	TOP OF STONE = 255.25 TOP OF SYSTEM = 254.25 BOTTOM OF SYSTEM = 250.25 BOTTOM OF STONE = 249.50 ESHGW = 247.30' WELL = 246.00 FRIMPTER = 1.30	INV OUT = 252.00 (18" HDPE - SWM-3) INV IN = 251.40 (30" RCP - DMH-17) INV IN = 251.50 (30" HDPE - DMH-8) INV IN = 251.50 (30" HDPE - BLDG 1 - SOUTH-1)
SWM-3: CULTEC R902HD 177.37' x 61.25' 376 TOTAL CHAMBERS (6 ROWS x 47 CHAMBERS)	TOP OF STONE = 249.75 TOP OF SYSTEM = 248.75 BOTTOM OF SYSTEM = 244.75 BOTTOM OF STONE = 244.00 ESHGW = 241.30' WELL = 246.00 FRIMPTER = 1.30	INV OUT = 245.50 (36" HDPE - DMH-26) INV IN = 246.50 (18" HDPE - SWM-2) INV IN = 245.85 (30" RCP - WQU-4)
SWM-4: CULTEC R902HD 192.03' x 61.25' 408 TOTAL CHAMBERS (8 ROWS x 51 CHAMBERS)	TOP OF STONE = 248.75 TOP OF SYSTEM = 247.75 BOTTOM OF SYSTEM = 243.75 BOTTOM OF STONE = 243.00 ESHGW = 240.30' WELL = 239.00 FRIMPTER = 1.30	INV OUT = 245.00 (30" RCP - DMH-28) INV IN = 245.00 (30" RCP - DMH-31) INV IN = 246.50 (12" RCP - WQU-2)
SWM-6: CULTEC R360HD 112.83' x 20.50' 87 TOTAL CHAMBERS (3 ROWS x 29 CHAMBERS)	TOP OF STONE = 259.50 TOP OF SYSTEM = 259.00 BOTTOM OF SYSTEM = 256.00 BOTTOM OF STONE = 255.50 ESHGW = 253.30' WELL = 252.00 FRIMPTER = 1.30	INV OUT = 257.10 (4 - 12" HDPE - DMH -25) INV IN = 256.25 (30" RCP - DMH-19)

\* ESHGW DATA INTERPRETED FROM EXISTING MONITOR WELL READINGS TAKEN ON MARCH 28, 2023 BY McARDLE GANNON ASSOCIATES WITH A 1.3 FT FRIMPTER ADJUSTMENT APPLIED TO THE WELL READINGS.

SYMBOL LEGEND	
	EXISTING ELEVATION CONTOUR
	PROPOSED ELEVATION CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED TC/BC ELEVATIONS
	PROPOSED TW/BW ELEVATIONS
	PROPOSED CATCH BASIN
	PROPOSED DRAIN MANHOLE
	DOUBLE GRATE CATCH BASIN
	PROPOSED STORM DRAIN
	PROPOSED ELECTRICAL TRANSFORMER
	PROPOSED RIP RAP
	PROPOSED SEWER MANHOLE
	PROPOSED RETAINING WALL
	TEST PIT LOCATION



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LAND PLANNING  
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CONSULTANT:

SEAL:

08-14-2023

**WAREHOUSE/INDUSTRIAL DEVELOPMENT**  
100/200 FINANCIAL PARK  
FRANKLIN, MA

OWNER/APPLICANT: BERKELEY PARTNERS

2	08-14-2023	RESPONSE TO COMMENTS
1	07-17-2023	RESPONSE TO COMMENTS
REV	DATE	DESCRIPTION

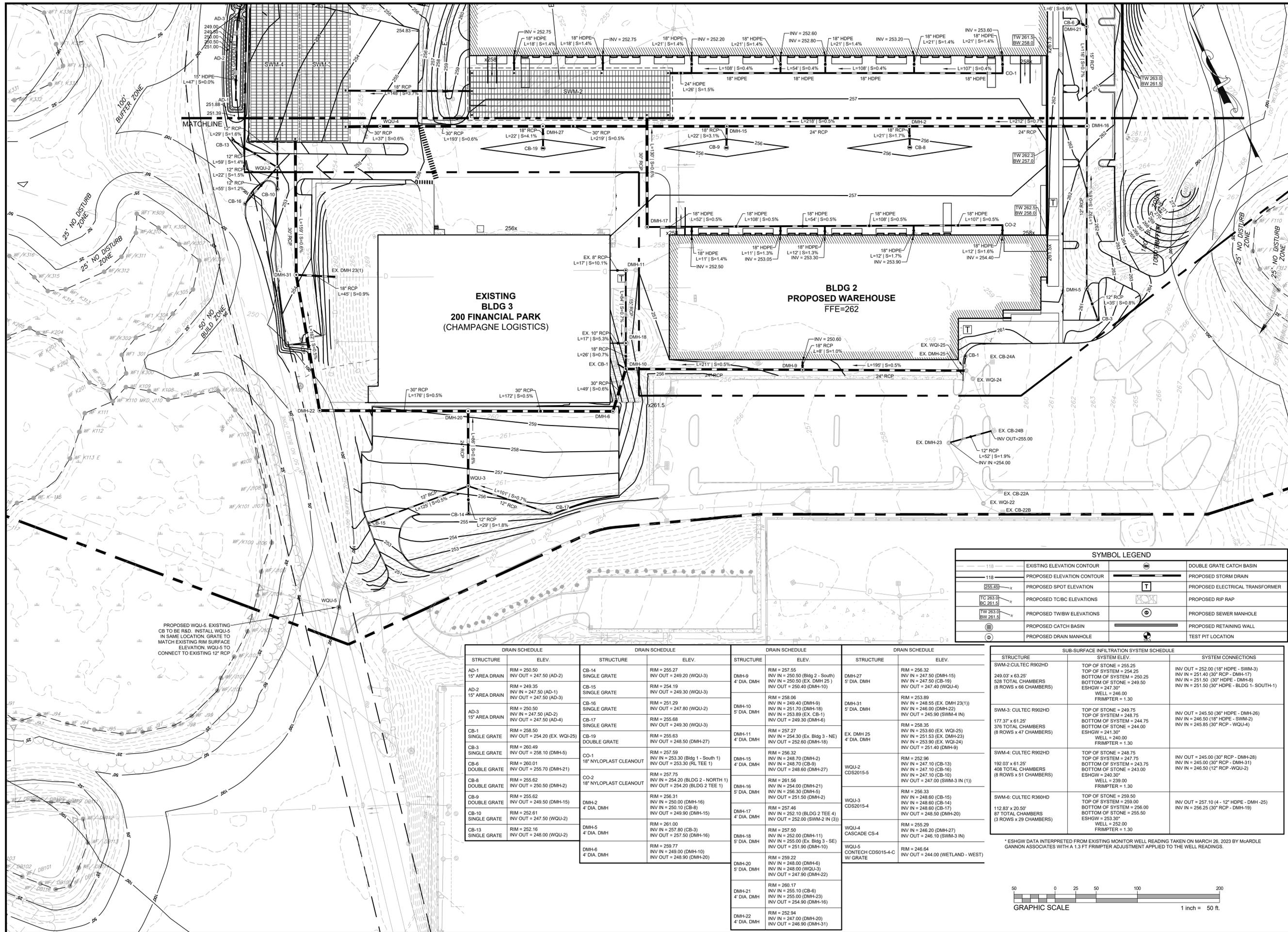
ISSUE TYPE:  
PERMIT SET  
ISSUE DATE:  
05/11/2023  
PROJECT NUMBER:  
22051

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CHECKED BY: DJH  
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SHEET TITLE:  
**GRADING & DRAINAGE PLAN**

SHEET NUMBER:  
**C400**

ISSUED FOR: PERMIT



**EXISTING  
BLDG 3  
200 FINANCIAL PARK  
(CHAMPAGNE LOGISTICS)**

**BLDG 2  
PROPOSED WAREHOUSE  
FFE=262**

SYMBOL LEGEND			
	EXISTING ELEVATION CONTOUR		DOUBLE GRATE CATCH BASIN
	PROPOSED ELEVATION CONTOUR		PROPOSED STORM DRAIN
	PROPOSED SPOT ELEVATION		PROPOSED ELECTRICAL TRANSFORMER
	PROPOSED TC/BC ELEVATIONS		PROPOSED RIP RAP
	PROPOSED TW/BW ELEVATIONS		PROPOSED SEWER MANHOLE
	PROPOSED CATCH BASIN		PROPOSED RETAINING WALL
	PROPOSED DRAIN MANHOLE		TEST PIT LOCATION

DRAIN SCHEDULE		DRAIN SCHEDULE		DRAIN SCHEDULE		DRAIN SCHEDULE	
STRUCTURE	ELEV.	STRUCTURE	ELEV.	STRUCTURE	ELEV.	STRUCTURE	ELEV.
AD-1 15" AREA DRAIN	RIM = 250.50 INV OUT = 247.50 (AD-2)	CB-14 SINGLE GRATE	RIM = 257.27 INV OUT = 249.20 (WQU-3)	DMH-9 4" DIA. DMH	RIM = 257.55 INV IN = 250.50 (BLDG 2 - SOUTH) INV IN = 250.50 (EX. DMH 25) INV OUT = 250.40 (DMH-10)	DMH-27 5" DIA. DMH	RIM = 256.32 INV IN = 247.50 (DMH-15) INV IN = 247.50 (CB-19) INV OUT = 247.40 (WQU-4)
AD-2 15" AREA DRAIN	RIM = 249.35 INV IN = 247.50 (AD-1) INV OUT = 247.50 (AD-3)	CB-15 SINGLE GRATE	RIM = 254.19 INV OUT = 249.30 (WQU-3)	DMH-10 5" DIA. DMH	RIM = 258.06 INV IN = 249.40 (DMH-9) INV IN = 251.70 (DMH-18) INV IN = 253.89 (EX. CB-1) INV OUT = 249.30 (DMH-6)	DMH-31 5" DIA. DMH	RIM = 253.89 INV IN = 248.55 (EX. DMH 23(1)) INV IN = 246.00 (DMH-22) INV OUT = 245.90 (SWM-4 IN)
AD-3 15" AREA DRAIN	RIM = 250.50 INV IN = 247.50 (AD-2) INV OUT = 247.50 (AD-4)	CB-16 SINGLE GRATE	RIM = 251.29 INV OUT = 247.80 (WQU-2)	DMH-11 4" DIA. DMH	RIM = 257.27 INV IN = 254.30 (EX. BLDG 3 - NE) INV OUT = 252.60 (DMH-18)	EX. DMH 25 4" DIA. DMH	RIM = 258.35 INV IN = 251.53 (EX. WQI-25) INV IN = 251.53 (EX. WQI-24) INV OUT = 251.40 (DMH-9)
CB-3 SINGLE GRATE	RIM = 258.50 INV OUT = 254.20 (EX. WQI-25)	CB-17 SINGLE GRATE	RIM = 255.68 INV OUT = 249.30 (WQU-3)	DMH-15 4" DIA. DMH	RIM = 256.32 INV IN = 248.70 (DMH-2) INV IN = 247.10 (CB-18) INV OUT = 248.60 (DMH-27)	WQU-2 CDS2015-5	RIM = 252.96 INV IN = 247.10 (CB-13) INV IN = 248.60 (CB-17) INV OUT = 247.00 (SWM-3 IN (1))
CB-6 DOUBLE GRATE	RIM = 260.49 INV OUT = 258.10 (DMH-5)	CB-19 DOUBLE GRATE	RIM = 255.63 INV OUT = 248.50 (DMH-27)	DMH-16 5" DIA. DMH	RIM = 261.56 INV IN = 254.00 (DMH-21) INV IN = 256.30 (DMH-5) INV OUT = 251.50 (DMH-2)	WQU-3 CDS2015-4	RIM = 256.33 INV IN = 248.60 (CB-15) INV IN = 248.60 (CB-14) INV OUT = 248.50 (DMH-20)
CB-8 DOUBLE GRATE	RIM = 260.01 INV OUT = 255.70 (DMH-21)	CO-1 18" NYLOPLAST CLEANOUT	RIM = 257.59 INV IN = 254.30 (BLDG 1 - SOUTH 1) INV OUT = 254.20 (BLDG 2 TEE 1)	DMH-17 4" DIA. DMH	RIM = 257.46 INV IN = 252.10 (BLDG 2 TEE 4) INV OUT = 252.00 (SWM-2 IN (3))	WQU-4 CASCADE CS-4	RIM = 255.29 INV IN = 246.20 (DMH-27) INV IN = 246.10 (SWM-3 IN)
CB-9 DOUBLE GRATE	RIM = 255.62 INV OUT = 249.50 (DMH-15)	CO-2 18" NYLOPLAST CLEANOUT	RIM = 257.75 INV IN = 254.20 (BLDG 2 - NORTH 1) INV OUT = 254.20 (BLDG 2 TEE 1)	DMH-18 5" DIA. DMH	RIM = 257.50 INV IN = 250.00 (DMH-16) INV IN = 250.10 (CB-8) INV OUT = 249.90 (DMH-15)	WQU-5 CONTECH CDS015-4-C W/ GRATE	RIM = 246.64 INV OUT = 244.00 (WETLAND - WEST)
CB-10 SINGLE GRATE	RIM = 252.61 INV OUT = 247.50 (WQU-2)	DMH-5 4" DIA. DMH	RIM = 256.31 INV IN = 250.00 (DMH-16) INV IN = 250.10 (CB-8) INV OUT = 249.90 (DMH-15)	DMH-20 5" DIA. DMH	RIM = 259.22 INV IN = 248.00 (DMH-6) INV IN = 248.00 (WQU-3) INV OUT = 247.90 (DMH-22)		
CB-13 SINGLE GRATE	RIM = 252.16 INV OUT = 248.00 (WQU-2)	DMH-6 4" DIA. DMH	RIM = 257.00 INV IN = 257.80 (CB-3) INV IN = 257.50 (DMH-16)	DMH-21 4" DIA. DMH	RIM = 259.22 INV IN = 248.00 (DMH-6) INV IN = 248.00 (WQU-3) INV OUT = 247.90 (DMH-22)		
			RIM = 259.77 INV IN = 249.00 (DMH-10) INV OUT = 248.90 (DMH-20)	DMH-22 4" DIA. DMH	RIM = 260.17 INV IN = 255.10 (CB-6) INV IN = 255.00 (DMH-23) INV OUT = 254.90 (DMH-16)		

SUB-SURFACE INFILTRATION SYSTEM SCHEDULE		
STRUCTURE	SYSTEM ELEV.	SYSTEM CONNECTIONS
SWM-2 CULTEC R902HD 249.03' x 63.25' 528 TOTAL CHAMBERS (8 ROWS x 66 CHAMBERS)	TOP OF STONE = 255.25 TOP OF SYSTEM = 254.25 BOTTOM OF SYSTEM = 250.25 BOTTOM OF STONE = 249.50 ESHGW = 247.30" WELL = 246.00" FRIMPITER = 1.30	INV OUT = 252.00 (18" HDPE - SWM-3) INV IN = 251.40 (30" HDPE - DMH-17) INV IN = 251.50 (30" HDPE - DMH-8) INV IN = 251.50 (30" HDPE - BLDG 1 - SOUTH-1)
SWM-3 CULTEC R902HD 177.37' x 61.25' 376 TOTAL CHAMBERS (8 ROWS x 47 CHAMBERS)	TOP OF STONE = 249.75 TOP OF SYSTEM = 248.75 BOTTOM OF SYSTEM = 244.00 ESHGW = 241.30" WELL = 240.00" FRIMPITER = 1.30	INV OUT = 245.50 (36" HDPE - DMH-26) INV IN = 246.50 (18" HDPE - SWM-2) INV IN = 245.95 (30" RCP - WQU-4)
SWM-4 CULTEC R902HD 192.03' x 61.25' 408 TOTAL CHAMBERS (8 ROWS x 51 CHAMBERS)	TOP OF STONE = 248.75 TOP OF SYSTEM = 247.75 BOTTOM OF SYSTEM = 243.75 BOTTOM OF STONE = 243.00 ESHGW = 240.30" WELL = 239.00" FRIMPITER = 1.30	INV OUT = 245.00 (30" RCP - DMH-28) INV IN = 245.00 (30" RCP - DMH-31) INV IN = 246.50 (12" RCP - WQU-2)
SWM-6 CULTEC R360HD 112.83' x 20.50' 87 TOTAL CHAMBERS (9 ROWS x 29 CHAMBERS)	TOP OF STONE = 259.50 TOP OF SYSTEM = 259.00 BOTTOM OF SYSTEM = 256.00 BOTTOM OF STONE = 255.50 ESHGW = 253.30" WELL = 252.00" FRIMPITER = 1.30	INV OUT = 257.10 (4 - 12" HDPE - DMH-25) INV IN = 256.25 (30" RCP - DMH-19)

\* ESHGW DATA INTERPRETED FROM EXISTING MONITOR WELL READINGS TAKEN ON MARCH 26, 2023 BY MCARDLE GANNON ASSOCIATES WITH A 1.5 FT FRIMPITER ADJUSTMENT APPLIED TO THE WELL READINGS.



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CONSULTANT:

SEAL

08-14-2023

**WAREHOUSE/INDUSTRIAL DEVELOPMENT**

100/200 FINANCIAL PARK  
FRANKLIN, MA

OWNER/APPLICANT: BERKELEY PARTNERS

REV	DATE	DESCRIPTION
2	08-14-2023	RESPONSE TO COMMENTS
1	07-17-2023	RESPONSE TO COMMENTS

ISSUE TYPE:  
PERMIT SET

CHECKED BY: DJH

ISSUE DATE:  
05/11/2023

PROJECT NUMBER:  
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DRAWN BY: JJP/JMP

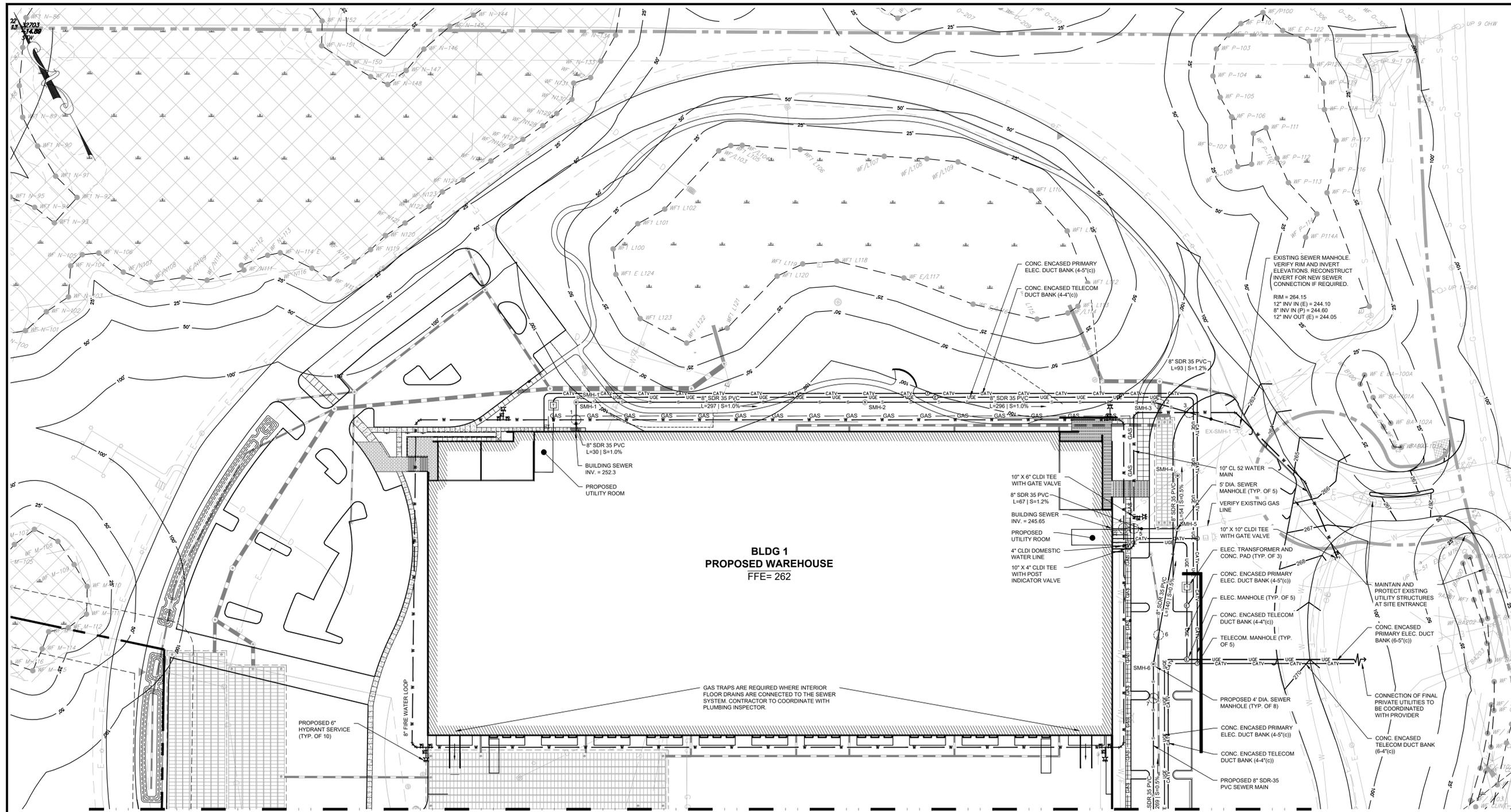
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SHEET TITLE:  
**GRADING & DRAINAGE PLAN**

SHEET NUMBER:  
**C401**

ISSUED FOR: PERMIT



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SEAL

08-14-2023

**WAREHOUSE/INDUSTRIAL DEVELOPMENT**

100/200 FINANCIAL PARK  
 FRANKLIN, MA

OWNER/APPLICANT: BERKELEY PARTNERS

MATCHLINE

STRUCTURE	SEWER SCHEDULE	ELEV.
SMH-1	RIM = 255.43 INV IN = 251.87 (BUILDING 1 WEST) INV OUT = 251.87 (SMH-2)	
SMH-2	RIM = 262.38 INV IN = 248.90 (SMH-1) INV OUT = 248.80 (SMH-3)	
SMH-3	RIM = 262.01 INV IN = 245.84 (SMH-2) INV OUT = 245.74 (EX-SMH-1)	
SMH-4	RIM = 261.99 INV IN = 244.48 (SMH-5) INV OUT = 244.38 (EX-SMH-1)	
SMH-5	RIM = 262.00 INV IN = 244.85 (SMH-6) INV IN = 244.85 (BUILDING 1 EAST) INV OUT = 244.75 (SMH-4)	
SMH-6	RIM = 260.06 INV IN = 245.61 (SMH-7) INV OUT = 245.51 (SMH-5)	

SANITARY/WATER AND SANITARY/ STORMWATER CROSSINGS	
1	FG = 257.5± INVERT OF WATER PIPE = 254.5± TOP OF SANITARY SEWER = 252.82± CLEARANCE = 1.7±
2	FG = 262.1± INVERT OF STORMWATER PIPE = 256.93± TOP OF SANITARY SEWER = 246.33± CLEARANCE = 10.60±
3	FG = 262.4± INVERT OF WATER PIPE = 259.0± TOP OF SANITARY SEWER = 245.94± CLEARANCE = 13.1±
4	FG = 262.0± INVERT OF WATER PIPE = 258.0± TOP OF SANITARY SEWER = 246.18± CLEARANCE = 11.8±
5	FG = 261.9± INVERT OF WATER PIPE = 258.0± TOP OF SANITARY SEWER = 246.05± CLEARANCE = 11.9±
6	FG = 260.9± INVERT OF STORMWATER PIPE = 255.30± TOP OF SANITARY SEWER = 246.04± CLEARANCE = 9.26±
7	FG = 261.1± INVERT OF STORMWATER PIPE = 255.35± TOP OF SANITARY SEWER = 246.45± CLEARANCE = 8.90±

SITE UTILITY LEGEND	
	PROPOSED WATER SERVICE OR MAIN
	PROPOSED SEWER SERVICE OR MAIN
	PROPOSED CONC. ENCASED ELECTRIC DUCT BANK
	PROPOSED CONC. ENCASED TELECOM DUCT BANK
	PROPOSED GAS SERVICE
	PROPOSED FIRE HYDRANT
	PROPOSED WATER GATE VALVE
	PROPOSED SEWER MANHOLE
	PROPOSED ELECTRIC TRANSFORMER
	PROPOSED ELECTRIC MANHOLE (6'x8')
	PROPOSED TELECOM MANHOLE
	PROPOSED GAS GATE VALVE



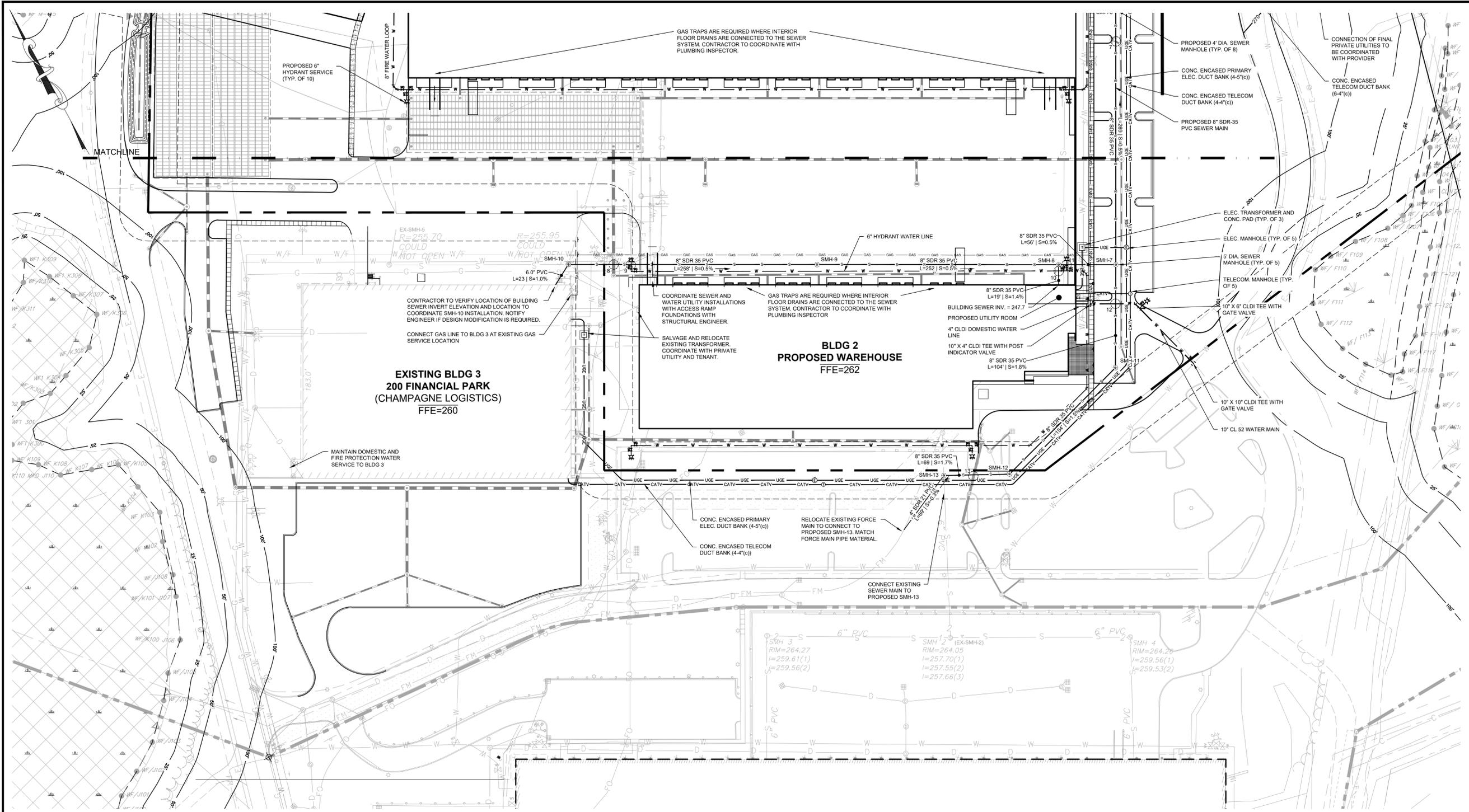
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1	07.17.2023	RESPONSE TO COMMENTS
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ISSUE TYPE: PERMIT SET		
ISSUE DATE: 05/11/2023		
PROJECT NUMBER: 22051		
DRAWN BY: JJP/CCL		
CHECKED BY: DJH		
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SHEET TITLE: <b>UTILITY PLAN</b>		
SHEET NUMBER: <b>C500</b>		



08-14-2023

**WAREHOUSE/INDUSTRIAL DEVELOPMENT**  
 100/200 FINANCIAL PARK  
 FRANKLIN, MA

OWNER/APPLICANT: BERKELEY PARTNERS



SEWER SCHEDULE	
STRUCTURE	ELEV.
SMH-6	RIM = 260.06 INV IN = 245.61 (SMH-7) INV OUT = 245.51 (SMH-5)
SMH-7	RIM = 262.19 INV IN = 247.84 (SMH-11) INV IN = 247.01 (SMH-8) INV OUT = 246.91 (SMH-6)
SMH-8	RIM = 257.99 INV IN = 247.41 (BUILDING 2) INV IN = 247.38 (SMH-8) INV OUT = 247.28 (SMH-7)
SMH-9	RIM = 257.53 INV IN = 248.84 (SMH-10) INV OUT = 248.54 (SMH-8)
SMH-10	RIM = 256.10 INV IN = 249.93 (EX-SMH-5) INV IN = 250.07 (BUILDING 3) INV OUT = 249.83 (SMH-9)

SEWER SCHEDULE	
STRUCTURE	ELEV.
SMH-11	RIM = 261.28 INV IN = 250.70 (SMH-12) INV OUT = 249.80 (SMH-7)
SMH-12	RIM = 261.97 INV IN = 253.80 (SMH-13) INV IN = 253.00 (SMH-11)
SMH-13	RIM = 261.99 INV IN = 255.10 (EX-FORCE MAIN) INV IN = 255.00 (SMH-2) INV OUT = 255.00 (SMH-12)

SANITARY/WATER AND SANITARY/STORMWATER CROSSINGS	
7	FG = 261.1± INVERT OF STORMWATER PIPE = 255.35± TOP OF SANITARY SEWER = 246.45± CLEARANCE = 8.90±
8	FG = 257.3± INVERT OF STORMWATER PIPE = 251.95± TOP OF SANITARY SEWER = 250.28± CLEARANCE = 1.67±
9	FG = 257.5± INVERT OF WATER PIPE = 253.5± TOP OF SANITARY SEWER = 250.19± CLEARANCE = 3.3±
10	FG = 257.8± INVERT OF WATER PIPE = 253.5± TOP OF SANITARY SEWER = 248.16± CLEARANCE = 5.3±
11	FG = 257.7± INVERT OF WATER PIPE = 253.5± TOP OF SANITARY SEWER = 247.91± CLEARANCE = 5.8±
12	FG = 261.4± INVERT OF WATER PIPE = 258.0± TOP OF SANITARY SEWER = 249.3± CLEARANCE = 8.7±
13	FG = 259.0± INVERT OF SANITARY SEWER = 254.46± TOP OF STORMWATER PIPE = 253.64± CLEARANCE = 0.82±

SITE UTILITY LEGEND	
	PROPOSED WATER SERVICE OR MAIN
	PROPOSED FORCE MAIN
	PROPOSED SEWER SERVICE OR MAIN
	PROPOSED CONC. ENCASED ELECTRIC DUCT BANK
	PROPOSED CONC. ENCASED TELECOM DUCT BANK
	PROPOSED GAS SERVICE
	PROPOSED FIRE HYDRANT
	PROPOSED WATER GATE VALVE
	PROPOSED SEWER MANHOLE
	PROPOSED ELECTRIC TRANSFORMER
	PROPOSED ELECTRIC MANHOLE (6'x8')
	PROPOSED TELECOM MANHOLE
	PROPOSED GAS GATE VALVE



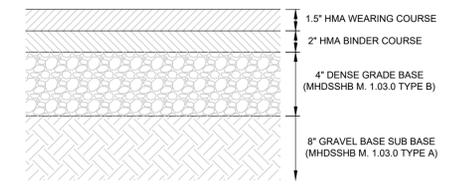
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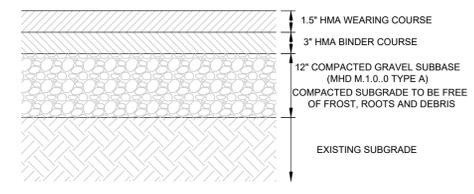
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SHEET NUMBER:  
**C501**

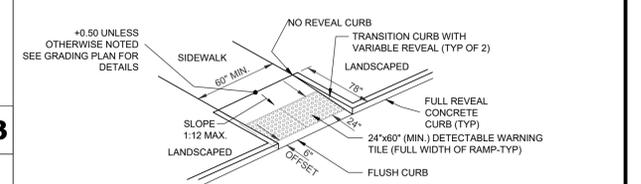
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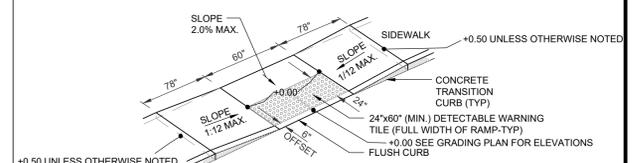
**BITUMINOUS CONCRETE PAVEMENT**  
 NOT TO SCALE **C2**



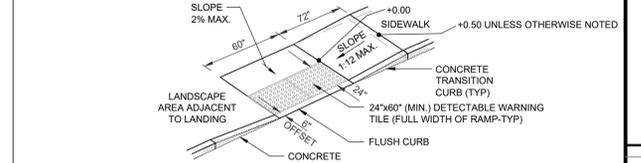
**HEAVY DUTY BITUMINOUS CONCRETE PAVEMENT**  
 NOT TO SCALE **C1**



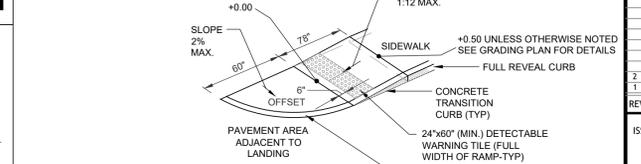
**TYPE 1: RETURNED CURB**  
 NOT TO SCALE



**TYPE 2: DUAL SIDED**  
 NOT TO SCALE



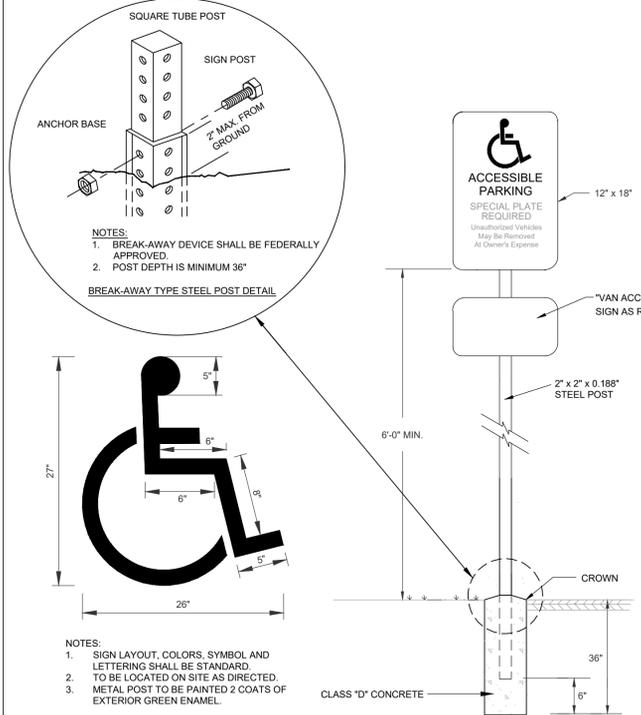
**TYPE 3: SINGLE SIDED A**  
 NOT TO SCALE



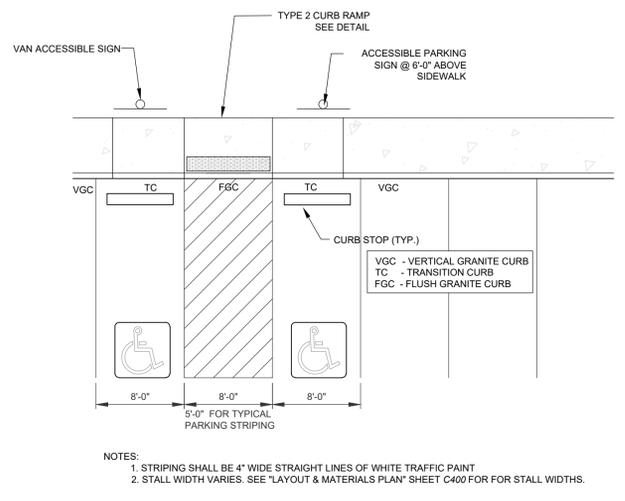
**TYPE 4: SINGLE SIDED B**  
 NOT TO SCALE

- IN NO INSTANCE SHALL THE SIDEWALK CROSS SLOPE EXCEED 2.0% EXCEPT THE RAMP AREA PROPER WHICH IS EXEMPT.
- AN UNOBSTRUCTED PATH OF TRAVEL WITH A MINIMUM WIDTH OF 36" SHALL BE MAINTAINED.
- THE WHEELCHAIR RAMP SLOPE AND SIDE OF SLOPES (TRANSITIONS), MUST NOT EXCEED 8.33%.
- ALL REQUIREMENTS OF THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (MAAB) AND THE AMERICANS WITH DISABILITIES ACT (ADA) SHALL GOVERN OVER THESE REGULATIONS.
- THE ENTRANCE OF THE WHEELCHAIR RAMP SHALL BE FLUSH WITH ROADWAY.
- 24"x60" DETECTABLE WARNING TILE SHALL BE BRICK RED, EMBEDMENT PANEL, SOUND ATTENUATING CURB RAMP TILE BY ADS SOLUTIONS, INC. PART NO. 2460DPV2 OR APPROVED EQUAL.
- DETECTABLE WARNING TILE SHALL HAVE DOME SPACING OF 2.35 INCHES.
- DETECTABLE WARNING TILE SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS. (PER MASSDOT E107.65)
- ALL CURB RAMPS TO RISE 6" FROM BASE TO TOP UNLESS OTHERWISE NOTED. SEE GRADING PLAN FOR ELEVATIONS.

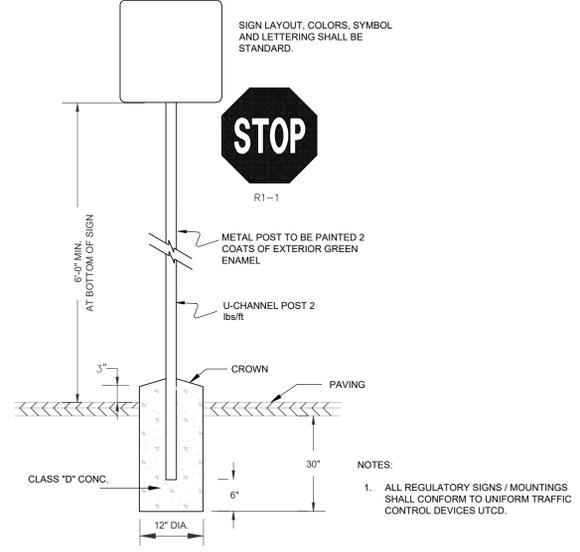
**CURB RAMPS**  
 NOT TO SCALE **A1**



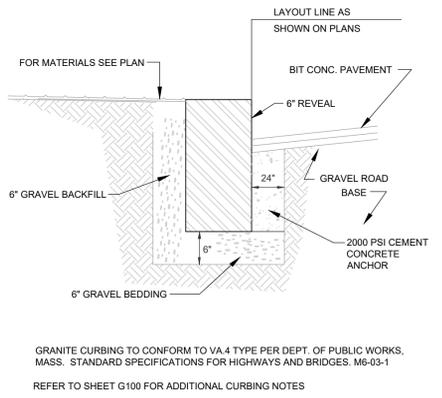
**ACCESSIBLE PARKING SIGN AND PAVEMENT MARKING**  
 NOT TO SCALE **C3**



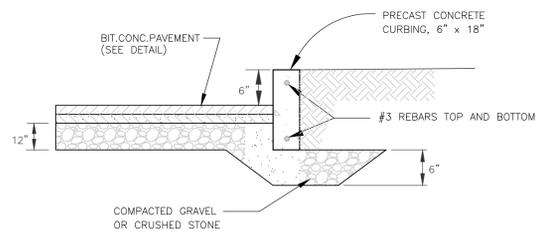
**TYPICAL ACCESSIBLE VAN PARKING STRIPING**  
 NOT TO SCALE **C4**



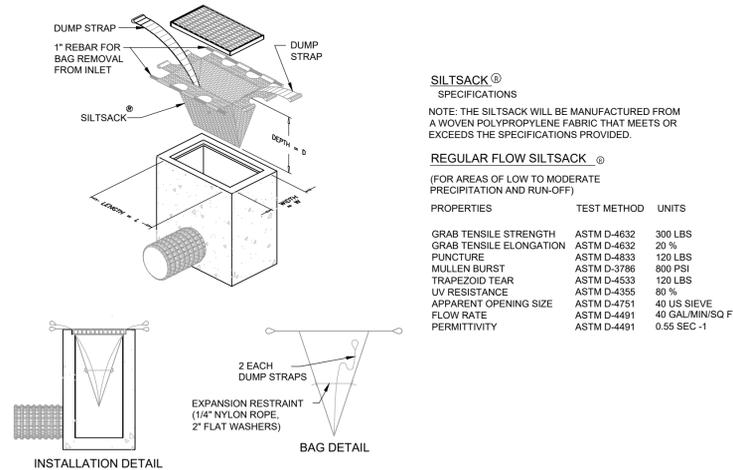
**TYPICAL SIGN DETAIL**  
 NOT TO SCALE **C5**



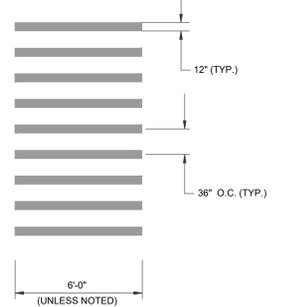
**VERTICAL GRANITE CURB**  
 NOT TO SCALE **B1**



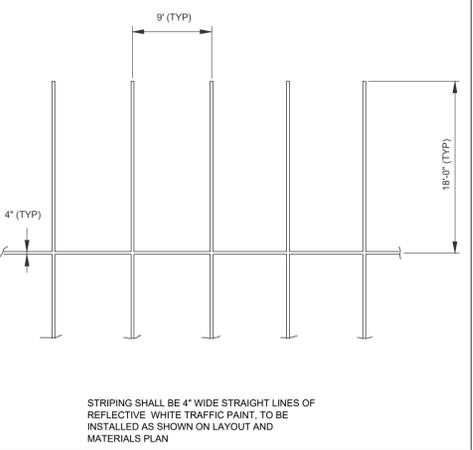
**PRECAST CONCRETE CURB**  
 NOT TO SCALE **B2**



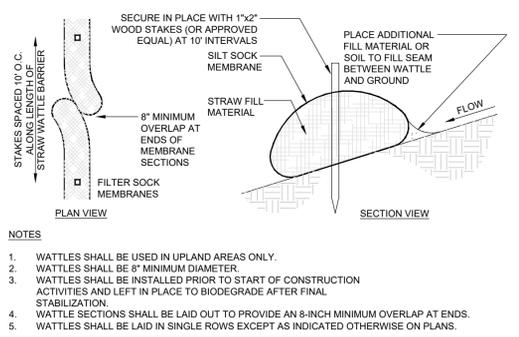
**SILTSACK INLET PROTECTION DEVICE**  
 NOT TO SCALE **B3**



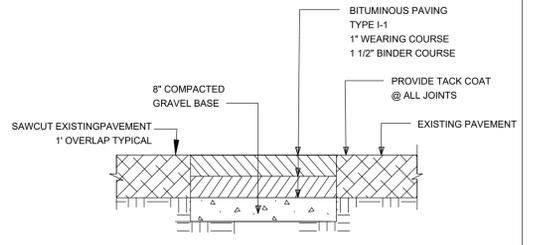
**STRIPED PEDESTRIAN CROSSWALK**  
 NOT TO SCALE **A3**



**TYPICAL PARKING SPACE STRIPING**  
 NOT TO SCALE **A2**



**STRAW WATTLE EROSION CONTROL BARRIER**  
 NOT TO SCALE **A4**



**PAVEMENT MATCH SAWCUT**  
 NOT TO SCALE **A5**

**WAREHOUSE/INDUSTRIAL DEVELOPMENT**  
 100/200 FINANCIAL PARK  
 FRANKLIN, MA  
 OWNER/APPLICANT: BERKELEY PARTNERS

REV	DATE	DESCRIPTION
2	08-14-2023	RESPONSE TO COMMENTS
1	07-17-2023	RESPONSE TO COMMENTS

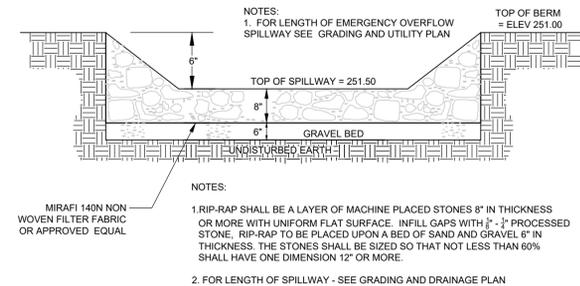
ISSUE TYPE:  
 PERMIT SET  
 ISSUE DATE:  
 05/11/2023  
 PROJECT NUMBER:  
 22051

DRAWN BY: JMP  
 CHECKED BY: DH  
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**DETAIL SHEET**

SHEET NUMBER:  
**C600**

ISSUED FOR: PERMIT



**SPILLWAY BETWEEN FOREBAY AND RAINGARDEN**  
 NOT TO SCALE **C3**

BACKFILL MATERIAL SHALL BE WELL GRADED WITHIN THE SPECIFIED LIMITS. GRADATION OF MATERIALS SHALL BE DETERMINED IN ACCORDANCE WITH ASTM C 136.  
 GRANULAR FILL (FOR OVER-EXCAVATION) SHALL BE SAND-GRAVEL MIXTURE, GRADED WITHIN THE FOLLOWING LIMITS:

SIEVE SIZE	% PASSING BY WEIGHT
1-1/2 IN.	100
NO. 4	20-60
NO. 10	10-35
NO. 200	0-8

GRAVEL BEDDING (FOR UTILITIES) SHALL BE GRAVEL, CRUSHED QUARRY ROCK OR CRUSHED GRAVEL, FROM OFF-SITE SOURCES GRADED WITHIN THE FOLLOWING LIMITS:

SIEVE SIZE	% PASSING BY WEIGHT
1 IN.	100
3/4 IN.	90-100
3/8 IN.	20-55
NO. 4	0-10
NO. 8	0-5

STONE (FOR UTILITIES) SHALL BE A DURABLE, CRUSHED STONE OR GRAVEL FROM OFF-SITE SOURCES, GRADED WITHIN THE FOLLOWING LIMITS:

SIEVE SIZE	% PASSING BY WEIGHT
2-1/2 IN.	100
2 IN.	60-90
1-1/4 IN.	25-50
3/4 IN.	0

SELECT FILL SHALL BE A COARSE GRANULAR MATERIAL CONSISTING OF HARD, DURABLE, ANGULAR MATERIAL, GRADED WITHIN THE FOLLOWING LIMITS. MATERIAL PASSING THE NO. 40 SIEVE SHALL HAVE A PLASTICITY INDEX OF NOT MORE THAN 10 AND A LIQUID LIMIT NOT TO EXCEED 35%.

SIEVE SIZE	% PASSING BY WEIGHT
4 IN.	100
1 IN.	60-100
NO. 4	30-80
NO. 40	5-30
NO. 200	0-8

COMMON FILL (IN LANDSCAPED AREAS) SHALL BE BANK RUN SAND, GRAVEL, OR MIXTURE THEREOF, GRADED WITHIN THE FOLLOWING LIMITS:

SIEVE SIZE	% PASSING BY WEIGHT
6 IN.	100
NO. 4	30-95
NO. 200	0-15

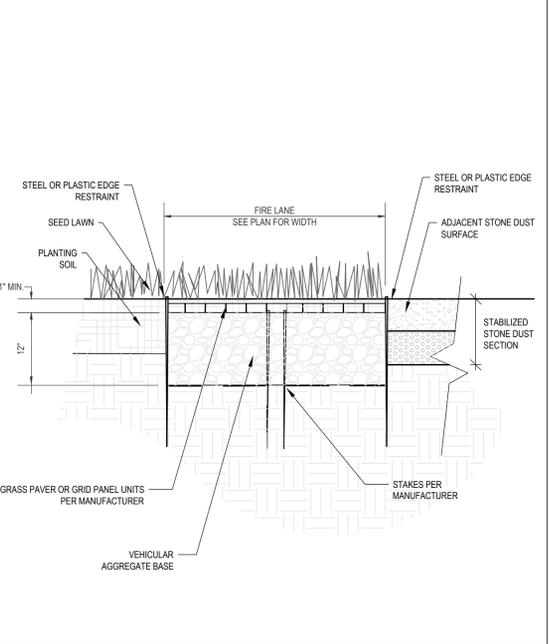
DENSE GRADED CRUSHED STONE SHALL CONSIST OF CRUSHER-RUN COARSE AGGREGATES OF CRUSHED STONE OR GRAVEL AND FINE AGGREGATES OF NATURAL SAND OR STONE SCREENINGS, UNIFORMLY PRE-MIXED WITH A PREDETERMINED QUANTITY OF WATER. COARSE AGGREGATE SHALL HAVE A PERCENTAGE OF WEAR OF NOT MORE THAN 45 BY THE LOS ANGELES TEST.

THE COMPOSITE MATERIAL SHALL BE FREE FROM CLAY, LOAM AND ALL OTHER PLASTIC MATERIALS, AND SHALL CONFORM TO THE FOLLOWING GRADATION REQUIREMENTS:

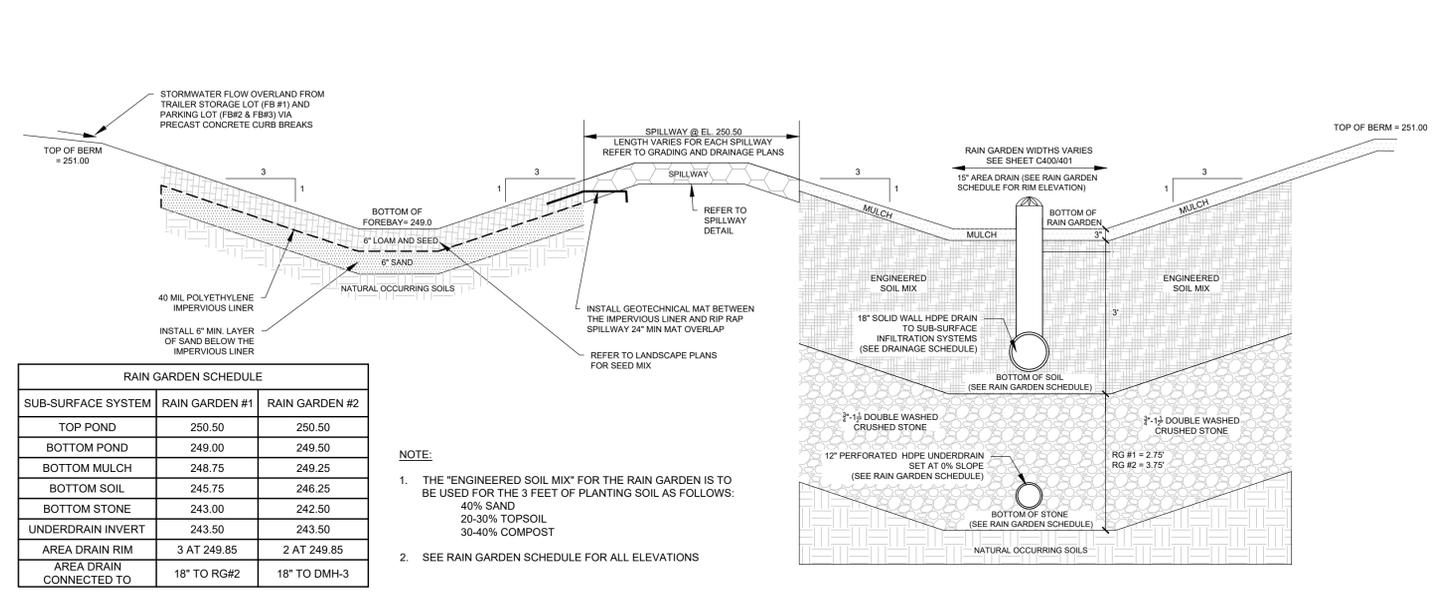
SIEVE DESIGNATION	PERCENTAGE BY MASS PASSING SQUARE MESH SIEVES
2 inches	100
1 1/2 inches	70-100
3/4 inch	50-85
NO. 4	30-55
NO. 50	8-24
NO. 200	3-10

SAMPLING AND TESTING SHALL BE IN ACCORDANCE WITH THE FOLLOWING STANDARD AASHTO METHODS:  
 • SIEVE ANALYSIS: AASHTO T27  
 • PASSING NO. 200 SIEVE: AASHTO T11

**BACKFILL MATERIAL GRADATION REQUIREMENTS**  
 NOT TO SCALE **B4**



**REINFORCED TURF FIRE LANE SURFACE**  
 NOT TO SCALE **C2**

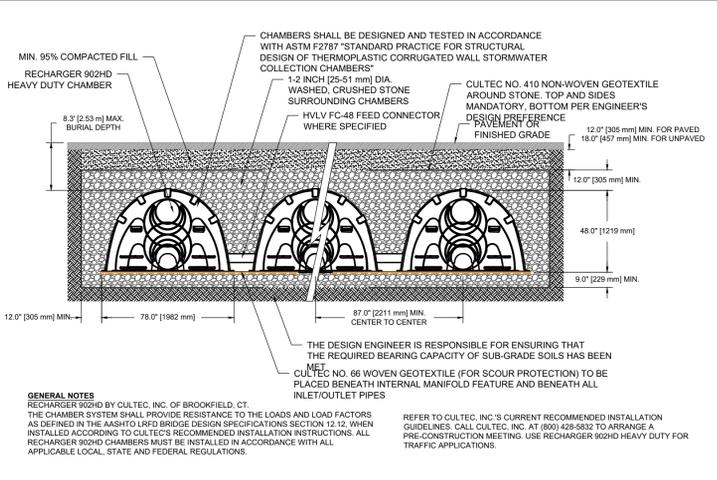


**RAIN GARDEN SCHEDULE**

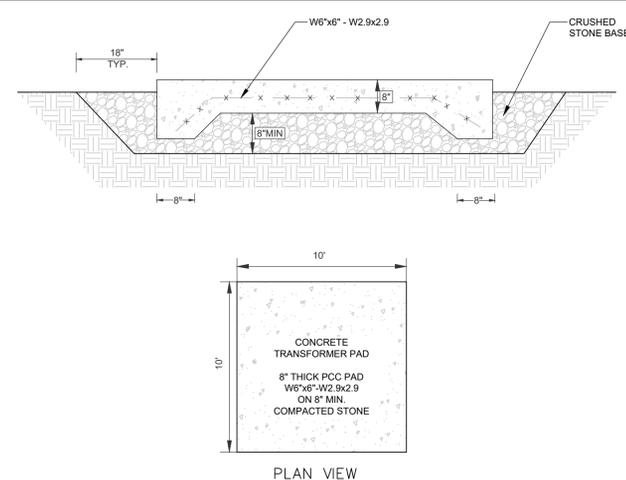
SUB-SURFACE SYSTEM	RAIN GARDEN #1	RAIN GARDEN #2
TOP POND	250.50	250.50
BOTTOM POND	249.00	249.50
BOTTOM MULCH	248.75	249.25
BOTTOM SOIL	245.75	246.25
BOTTOM STONE	243.00	242.50
UNDERDRAIN INVERT	243.50	243.50
AREA DRAIN RIM	3 AT 249.85	2 AT 249.85
AREA DRAIN CONNECTED TO	18" TO RG#2	18" TO DMH-3

NOTE:  
 1. THE "ENGINEERED SOIL MIX" FOR THE RAIN GARDEN IS TO BE USED FOR THE 3 FEET OF PLANTING SOIL AS FOLLOWS:  
 40% SAND  
 20-30% TOPSOIL  
 30-40% COMPOST  
 2. SEE RAIN GARDEN SCHEDULE FOR ALL ELEVATIONS

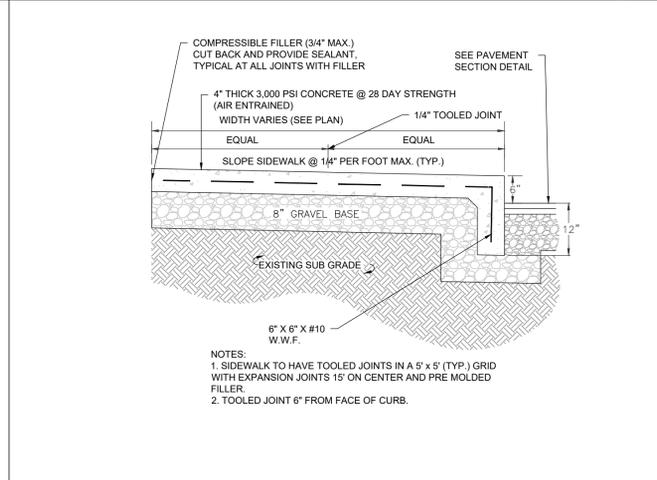
**RAIN GARDEN SECTION**  
 NOT TO SCALE **C1**



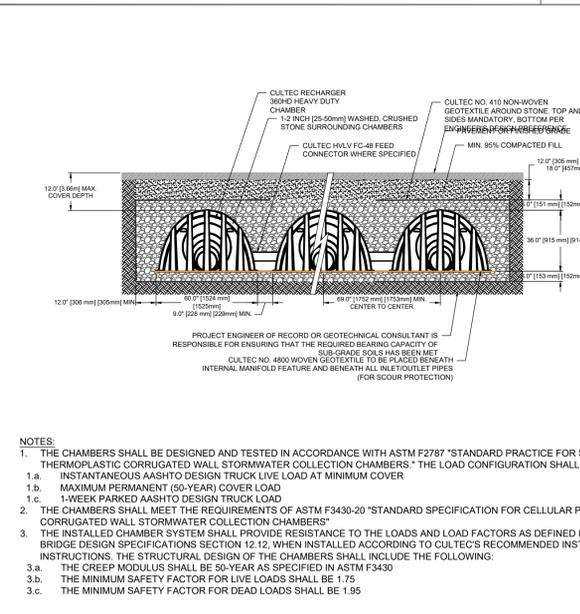
**CULTEC RECHARGER 902HD SUBSURFACE INFILTRATION SYSTEM**  
 NOT TO SCALE **B3**



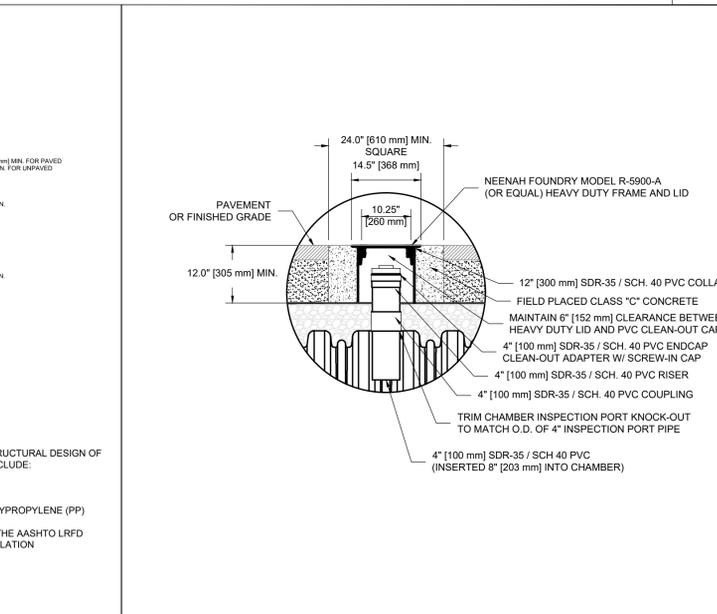
**TYPICAL ELECTRICAL TRANSFORMER PAD**  
 NOT TO SCALE **B2**



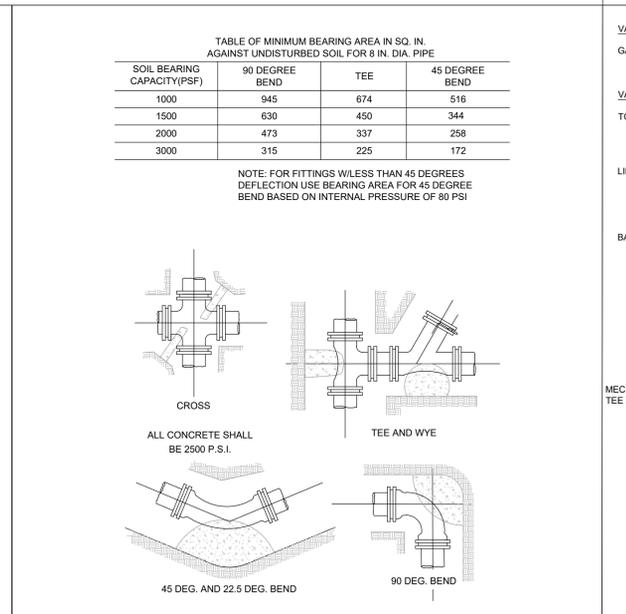
**MONOLITHIC CONCRETE SIDEWALK**  
 NOT TO SCALE **B1**



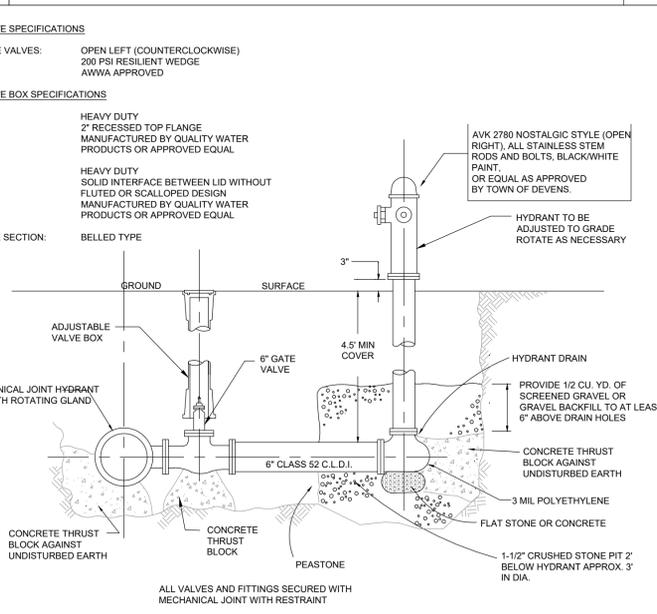
**CULTEC RECHARGE 360HD SUBSURFACE INFILTRATION SYSTEM**  
 NOT TO SCALE **A4**



**TYPICAL CULTEC INSPECTION PORT**  
 NOT TO SCALE **A3**



**WATER THRUST BLOCK**  
 NOT TO SCALE **A2**



**FIRE HYDRANT & GATE VALVE**  
 NOT TO SCALE **A1**

**WAREHOUSE / INDUSTRIAL DEVELOPMENT**  
 100/200 FINANCIAL PARK  
 FRANKLIN, MA  
 OWNER/APPLICANT: BERKELEY PARTNERS

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ISSUE TYPE:  
 PERMIT SET  
 ISSUE DATE:  
 05/11/2023  
 PROJECT NUMBER:  
 22051  
 DRAWN BY: JMP  
 CHECKED BY: DH  
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 SHEET TITLE:  
**DETAIL SHEET**  
 SHEET NUMBER:  
**C601**

REV	DATE	DESCRIPTION
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1	07-17-2023	RESPONSE TO COMMENTS

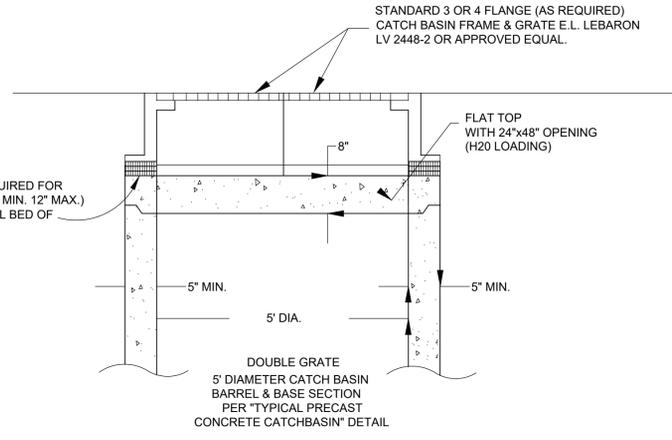
ISSUE TYPE:  
PERMIT SET  
ISSUE DATE:  
05/11/2023  
PROJECT NUMBER:  
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DRAWN BY: JMP  
CHECKED BY: DH  
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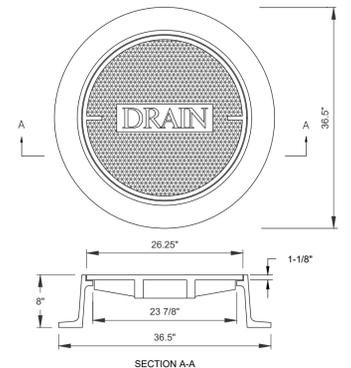
DETAIL SHEET

SHEET NUMBER:  
**C602**

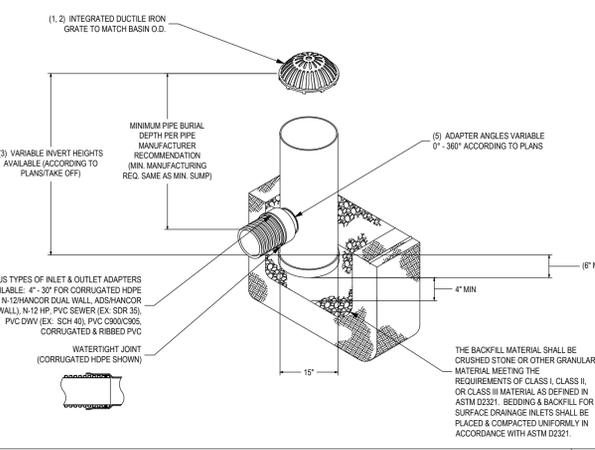
ISSUED FOR: PERMIT



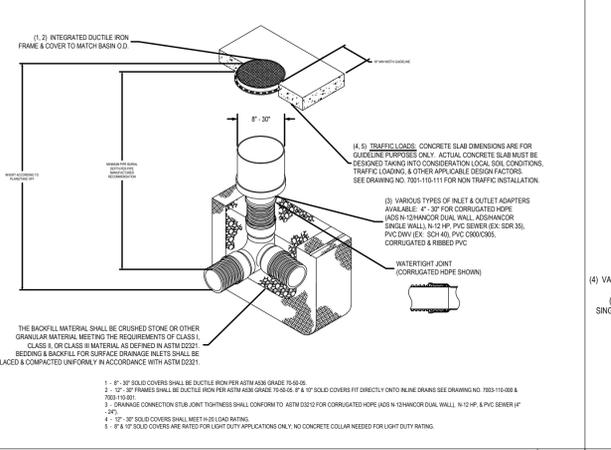
BRICK COURSES AS REQUIRED FOR GRADE ADJUSTMENTS (2 MIN. 12" MAX.) FRAME TO BE SET IN FULL BED OF MORTAR.



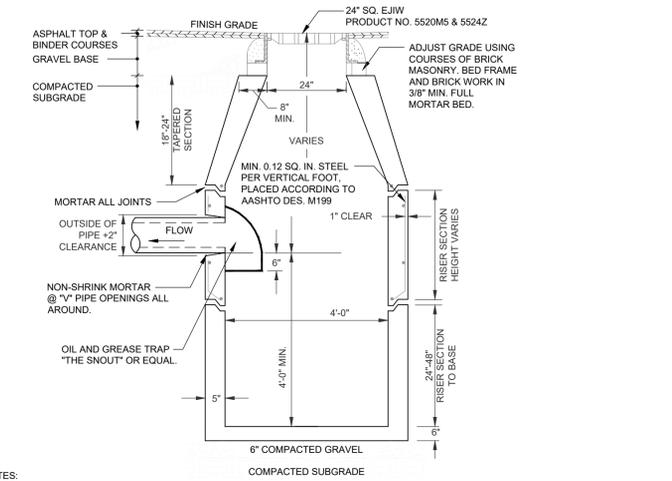
NOTE:  
FRAME AND COVER SHALL BE EAST JORDAN IRON WORKS CATALOG NOS. 2110A & 2114Z MARKED "DRAIN", OR APPROVED EQUAL.



NYLOPLAST DOME GRATE NOT TO SCALE **C2**

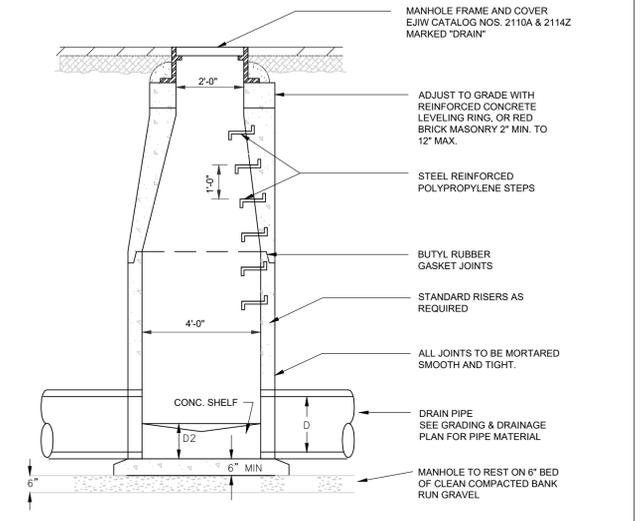


NYLOPLAST DRAIN CLEANOUT NOT TO SCALE **C3**

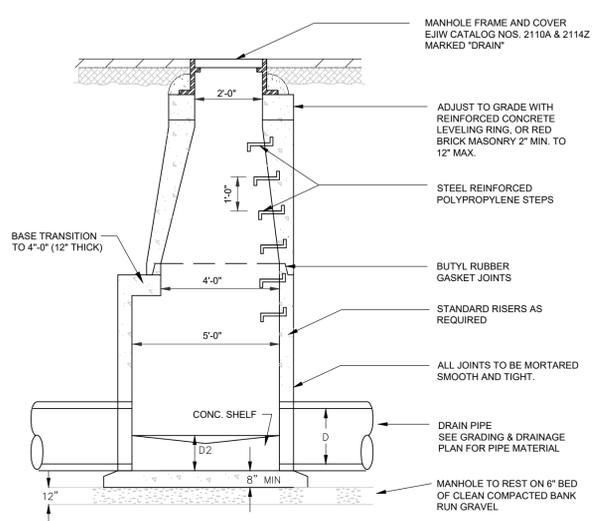


NOTE:  
1. ALL STRUCTURES SHALL BE SUITABLE FOR H-20 LOADING AND SHALL MEET THE REQUIREMENTS OF ASTM C478.  
2. ALL BLOCKS TO BE LAID IN A FULL BED OF MORTAR.  
3. OUTSIDE OF BASIN TO BE COATED WITH 2" OF MORTAR CEMENT PARING.  
4. FACE OF PIPE FLUSH OR NOT TO PROJECT MORE THAN 4" FROM FACE OF WALL ALONG CENTERLINE OF PIPE.  
5. PIPE OPENING COVERED WITH 23 GAUGE GALVANIZED WIRE MESH.  
6. PLACE 2 C.F. OF 2" CRUSHED STONE OVER WIRE MESH.  
7. BACKFILL SHALL CONSIST OF CLEAN SOIL MATERIALS UNIFORMLY PLACED IN 6-INCH LAYERS AROUND THE STRUCTURE AND THOROUGHLY COMPACTED WITH HAND TAMPERS OR MECHANICAL EQUIPMENT.

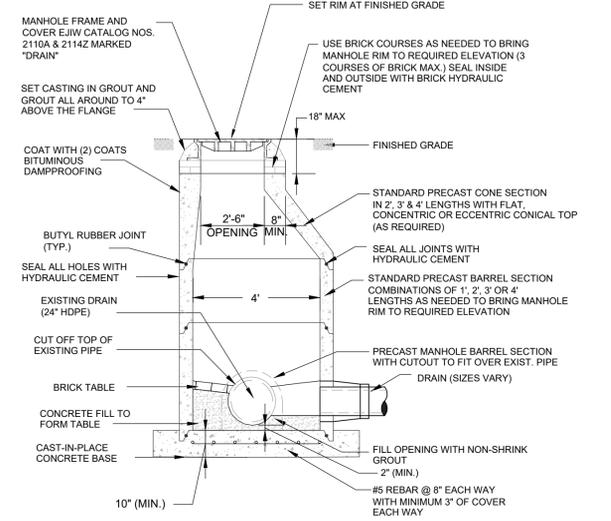
SINGLE & DOUBLE GRATE CATCH BASIN NOT TO SCALE **B1**



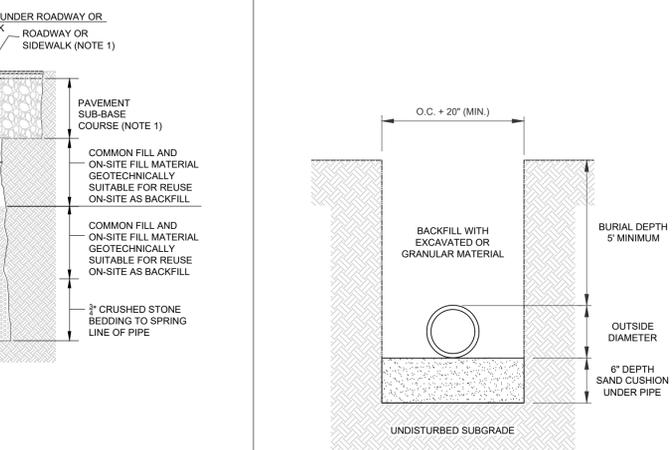
4' PRECAST CONCRETE DRAIN MANHOLE NOT TO SCALE **B2**



5' PRECAST CONCRETE DRAIN MANHOLE NOT TO SCALE **B3**



DOGHOUSE MANHOLE NOT TO SCALE **B4**

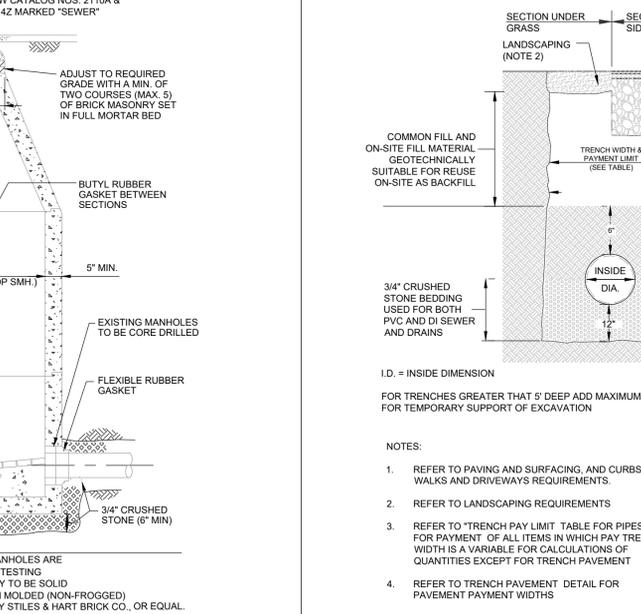


TRENCH PAY LIMIT TABLE FOR PIPES

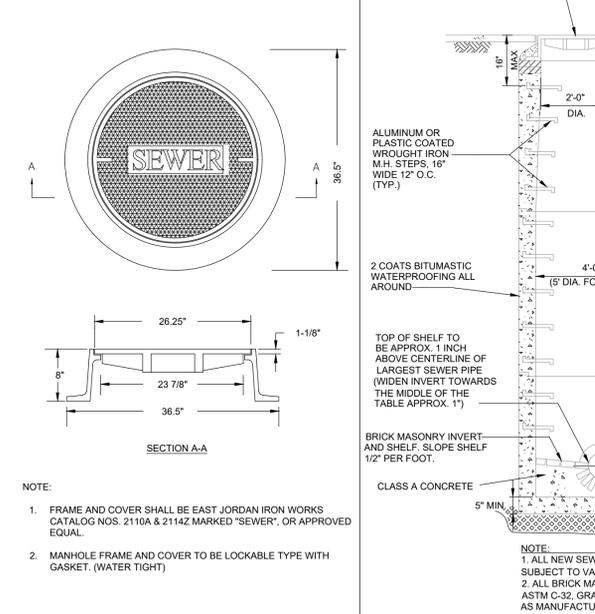
PIPE SIZE (DIA.)	MAX TRENCH WIDTH
LESS THAN 2"	2'-0"
2" TO 6"	3'-0"
6" TO 24"	4'-0"
24" & GREATER	1D + 2'-0"

NOTE:  
1. TRENCHING, BACKFILLING, COMPACTION, AND GRANULAR FILL MATERIALS SHALL CONFORM TO THE TOWN OF FRANKLIN DPW STANDARD  
2. SPECIFICATIONS FOR EXCAVATION WITHIN PUBLIC RIGHT OF WAY BACKFILL TRENCH WITH EXCAVATEABLE CONTROLLED DENSITY FILL

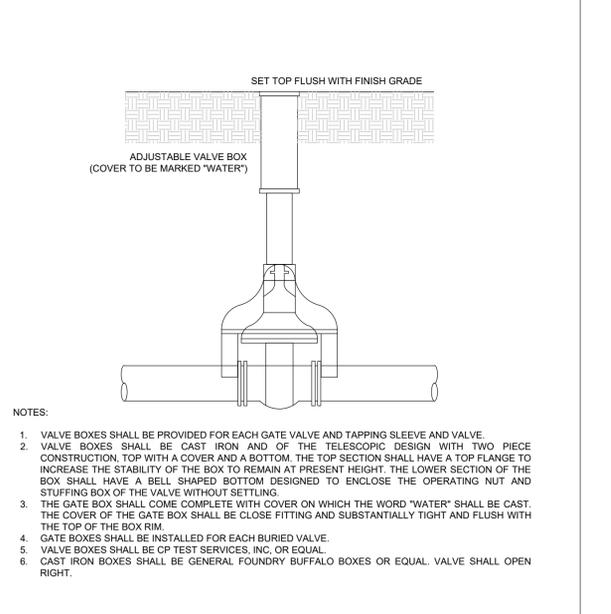
DRAINAGE AND SEWER TRENCH NOT TO SCALE **A2**



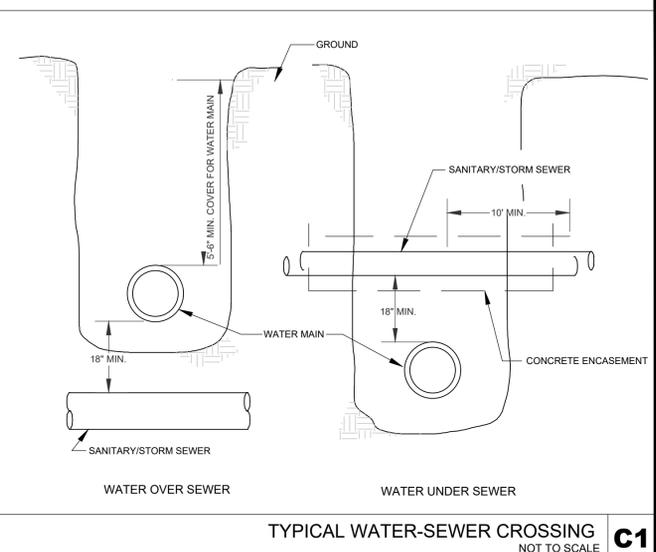
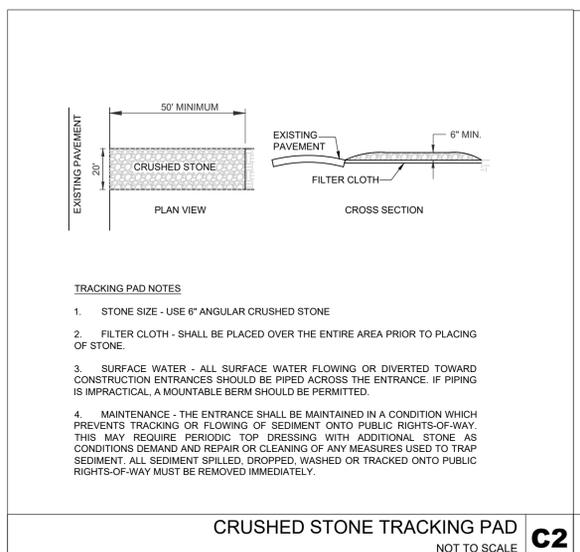
SANITARY SEWER MANHOLE NOT TO SCALE **A3**



SEWER MANHOLE FRAME & COVER NOT TO SCALE **A4**

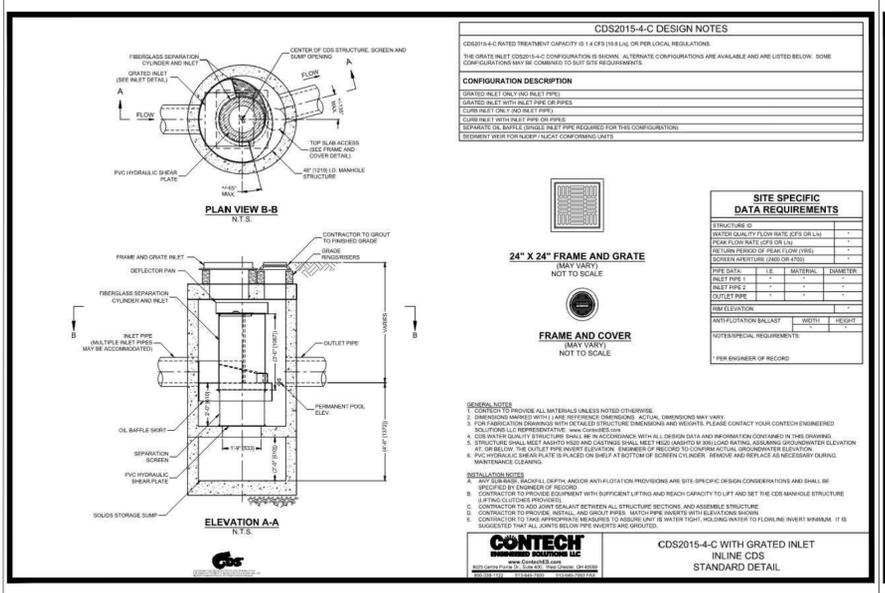


WATER GATE BOX NOT TO SCALE **A5**

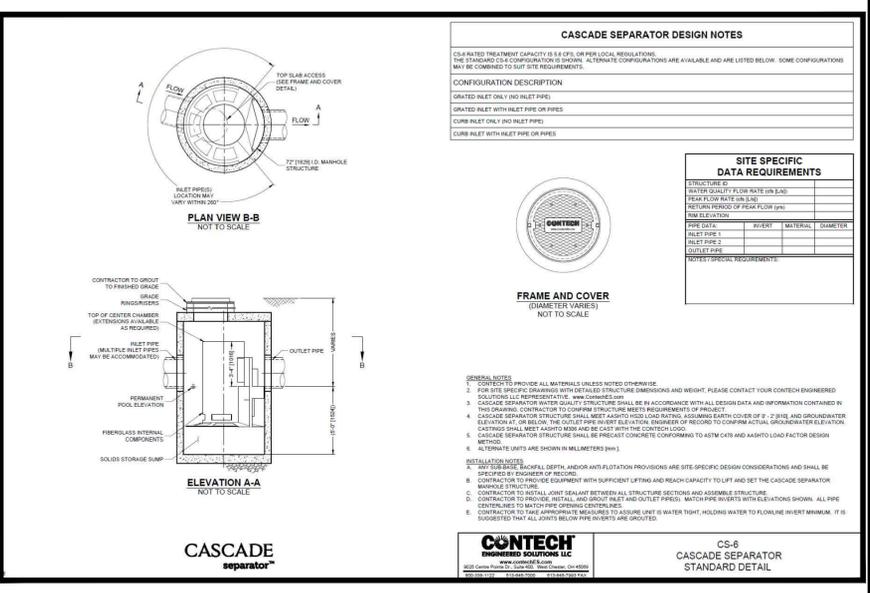


**CRUSHED STONE TRACKING PAD**  
NOT TO SCALE **C2**

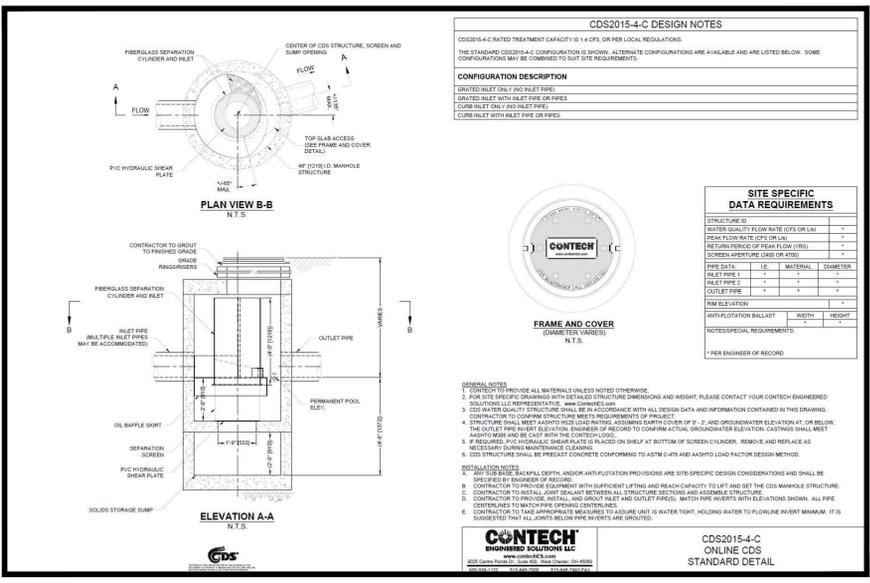
**TYPICAL WATER-SEWER CROSSING**  
NOT TO SCALE **C1**



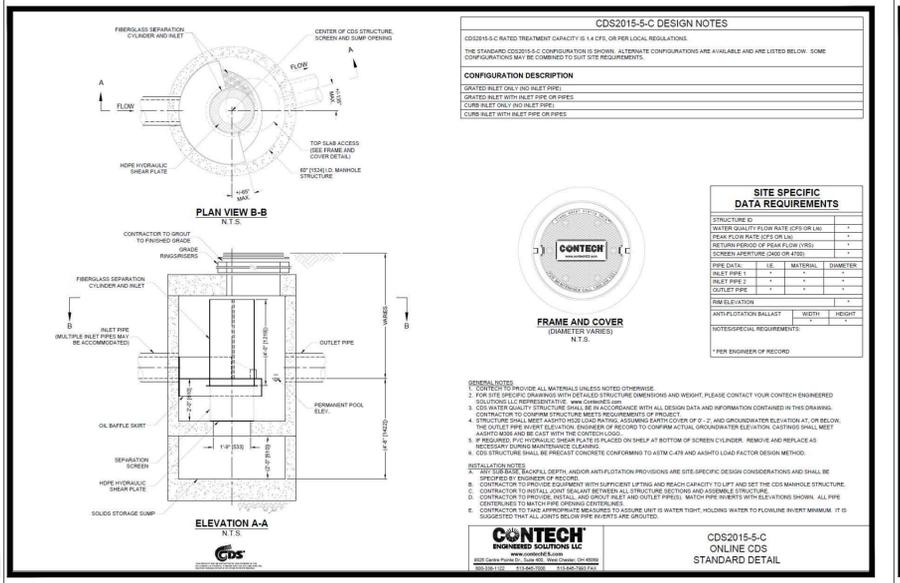
**CONTECH CDS2015-4-C WITH GRATED INLET (WQU-5)**  
NOT TO SCALE **B2**



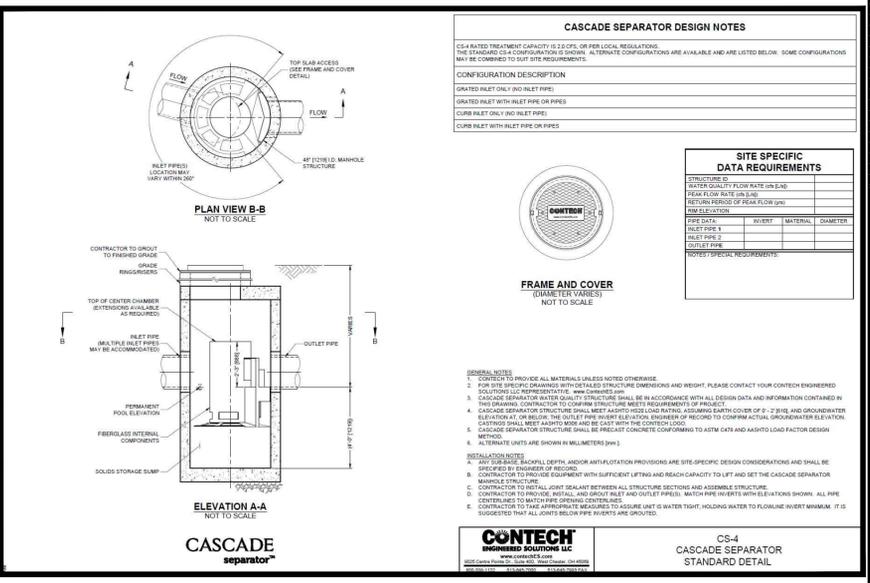
**CONTECH CS-6 (WQU-4 & WQU-6)**  
NOT TO SCALE **B1**



**CONTECH CDS2015-4-C (WQU-3 & WQU-7)**  
NOT TO SCALE **A3**



**CONTECH CDS2015-5-C (WQU-2)**  
NOT TO SCALE **A2**



**CONTECH CASCADE CS-4 (WQU-1)**  
NOT TO SCALE **A1**

**WAREHOUSE/INDUSTRIAL DEVELOPMENT**

100/200 FINANCIAL PARK  
FRANKLIN, MA

OWNER/APPLICANT: BERKELEY PARTNERS

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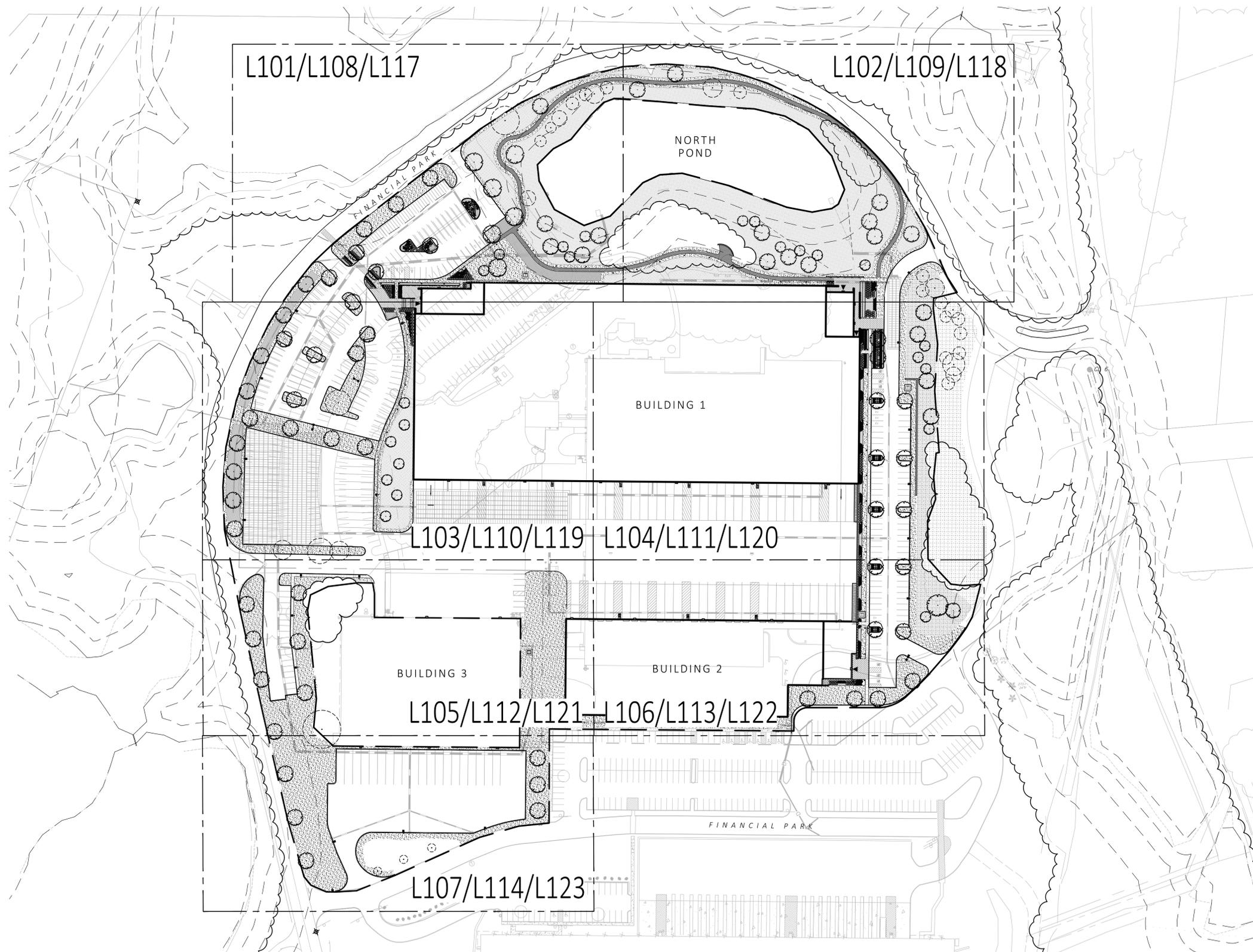
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**DETAIL SHEET**

SHEET NUMBER:  
**C603**

ISSUED FOR: PERMIT

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1 SHEET LAYOUT KEY PLAN  
SCALE: 1" = 80'-0"

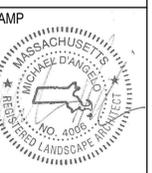


**MDLA**  
MICHAEL D'ANGELO landscape architecture

MICHAEL D'ANGELO  
LANDSCAPE ARCHITECTURE LLC  
840 SUMMER STREET  
SUITE 201A  
BOSTON, MA 02127  
T. 203.592.4788  
www.m-d-a.com

**CLIENT**  
BERKELEY PARTNERS  
1 WASHINGTON MALL, SUITE 701  
BOSTON, MA

**PROJECT**  
WAREHOUSE / INDUSTRIAL DEV.  
100 / 200 FINANCIAL PARK  
FRANKLIN, MA



REV. NO.	DATE	DESCRIPTION
	5/11/23	FOR PERMIT
1	7/17/23	RESPONSE TO COMMENTS
2	8/10/23	

KEY PLAN

DRAWN: NC	<b>L100</b>
CHECKED: AS NOTED	
SCALE: AS NOTED	
DATE: 5/11/2023	

SHEET 01 OF 24

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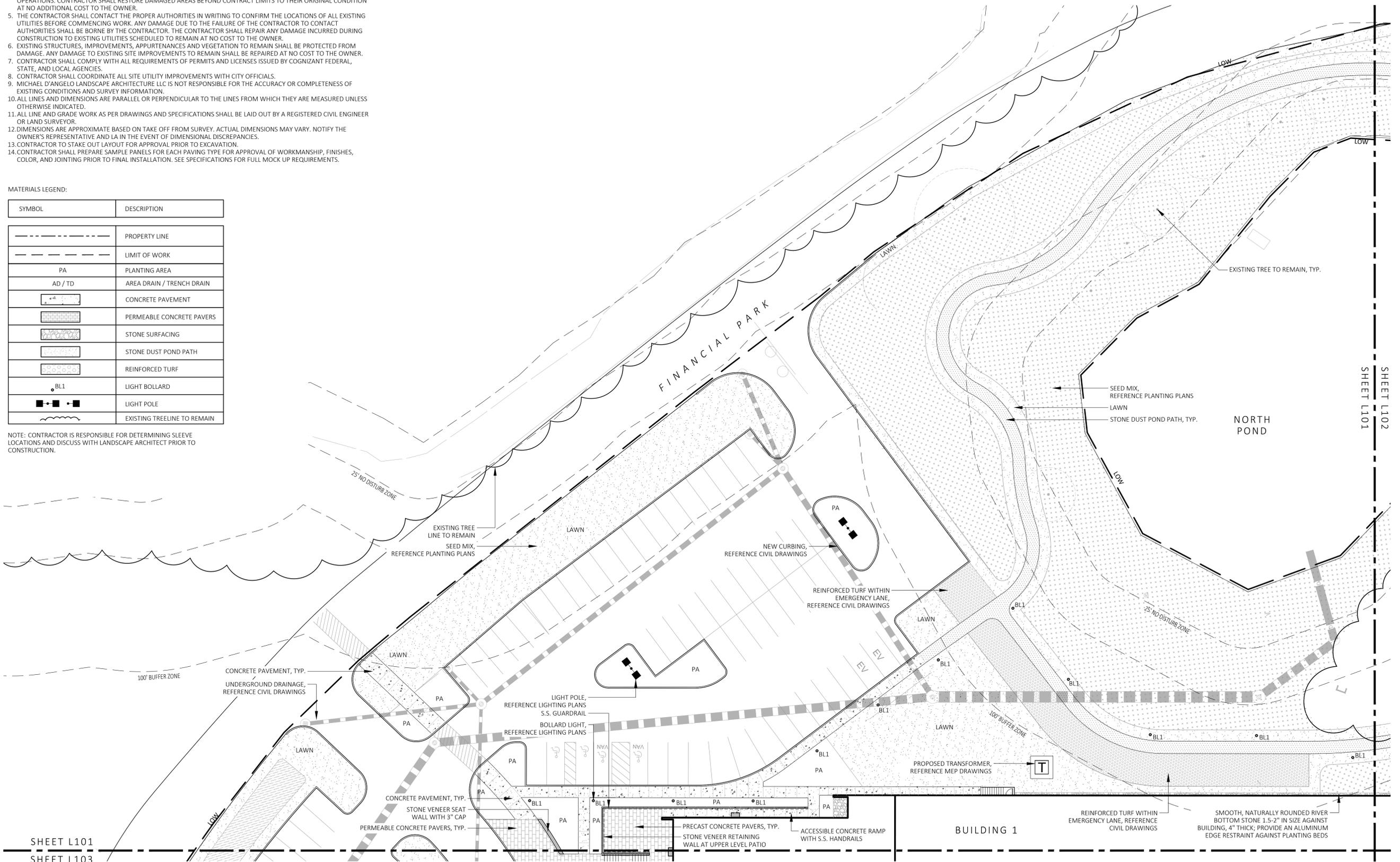
MATERIALS NOTES:

1. CONSULT ALL DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BETWEEN ALL TRADES PRIOR TO COMMENCING NEW CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY AND ALL DISCREPANCIES TO THE ENGINEER. ANY ALTERATIONS TO THESE DRAWINGS MADE IN THE FIELD SHALL BE PROMPTLY REPORTED BY THE CONTRACTOR TO THE LANDSCAPE ARCHITECT (LA) AND RECORDED ON RECORD DRAWINGS.
3. CONTRACTOR SHALL NOTIFY THE LA OF ANY AND ALL CONFLICTS BETWEEN PROPOSED SITE WORK AND WORK OF ALL OTHER TRADES.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE INSIDE AND OUTSIDE THE LIMIT OF WORK LINE DUE TO CONTRACT OPERATIONS. CONTRACTOR SHALL RESTORE DAMAGED AREAS BEYOND CONTRACT LIMITS TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
5. THE CONTRACTOR SHALL CONTACT THE PROPER AUTHORITIES IN WRITING TO CONFIRM THE LOCATIONS OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO THE FAILURE OF THE CONTRACTOR TO CONTACT AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR. THE CONTRACTOR SHALL REPAIR ANY DAMAGE INCURRED DURING CONSTRUCTION TO EXISTING UTILITIES SCHEDULED TO REMAIN AT NO COST TO THE OWNER.
6. EXISTING STRUCTURES, IMPROVEMENTS, APPURTENANCES AND VEGETATION TO REMAIN SHALL BE PROTECTED FROM DAMAGE. ANY DAMAGE TO EXISTING SITE IMPROVEMENTS TO REMAIN SHALL BE REPAIRED AT NO COST TO THE OWNER.
7. CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF PERMITS AND LICENSES ISSUED BY COGNIZANT FEDERAL, STATE, AND LOCAL AGENCIES.
8. CONTRACTOR SHALL COORDINATE ALL SITE UTILITY IMPROVEMENTS WITH CITY OFFICIALS.
9. MICHAEL D'ANGELO LANDSCAPE ARCHITECTURE LLC IS NOT RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF EXISTING CONDITIONS AND SURVEY INFORMATION.
10. ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.
11. ALL LINE AND GRADE WORK AS PER DRAWINGS AND SPECIFICATIONS SHALL BE LAID OUT BY A REGISTERED CIVIL ENGINEER OR LAND SURVEYOR.
12. DIMENSIONS ARE APPROXIMATE BASED ON TAKE OFF FROM SURVEY. ACTUAL DIMENSIONS MAY VARY. NOTIFY THE OWNER'S REPRESENTATIVE AND LA IN THE EVENT OF DIMENSIONAL DISCREPANCIES.
13. CONTRACTOR TO STAKE OUT LAYOUT FOR APPROVAL PRIOR TO EXCAVATION.
14. CONTRACTOR SHALL PREPARE SAMPLE PANELS FOR EACH PAVING TYPE FOR APPROVAL OF WORKMANSHIP, FINISHES, COLOR, AND JOINTING PRIOR TO FINAL INSTALLATION. SEE SPECIFICATIONS FOR FULL MOCK UP REQUIREMENTS.

MATERIALS LEGEND:

SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - -	LIMIT OF WORK
PA	PLANTING AREA
AD / TD	AREA DRAIN / TRENCH DRAIN
[Pattern]	CONCRETE PAVEMENT
[Pattern]	PERMEABLE CONCRETE PAVERS
[Pattern]	STONE SURFACING
[Pattern]	STONE DUST POND PATH
[Pattern]	REINFORCED TURF
BL1	LIGHT BOLLARD
[Symbol]	LIGHT POLE
[Symbol]	EXISTING TREELINE TO REMAIN

NOTE: CONTRACTOR IS RESPONSIBLE FOR DETERMINING SLEEVE LOCATIONS AND DISCUSS WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.



SHEET L101  
SHEET L103

1 MATERIALS PLAN  
SCALE: 1" = 20'-0"



**MDLA**  
MICHAEL D'ANGELO LANDSCAPE ARCHITECTURE

MICHAEL D'ANGELO  
LANDSCAPE ARCHITECTURE LLC

840 SUMMER STREET  
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1 WASHINGTON MALL, SUITE 701  
BOSTON, MA

**PROJECT**  
WAREHOUSE / INDUSTRIAL DEV.  
100 / 200 FINANCIAL PARK  
FRANKLIN, MA

**STAMP**

REV. NO.	DATE	DESCRIPTION
1	5/11/23	FOR PERMIT
2	7/17/23	RESPONSE TO COMMENTS
3	8/10/23	

**MATERIALS PLAN**

DRAWN: NC  
CHECKED: AS NOTED  
SCALE: AS NOTED  
DATE: 5/11/2023

L101

SHEET 02 OF 24

plot date: 8/9/2023

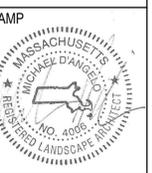
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**PROJECT**  
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**MATERIALS PLAN**

DRAWN: NC  
CHECKED: AS NOTED  
SCALE: AS NOTED  
DATE: 5/11/2023

**L102**

SHEET 03 OF 24

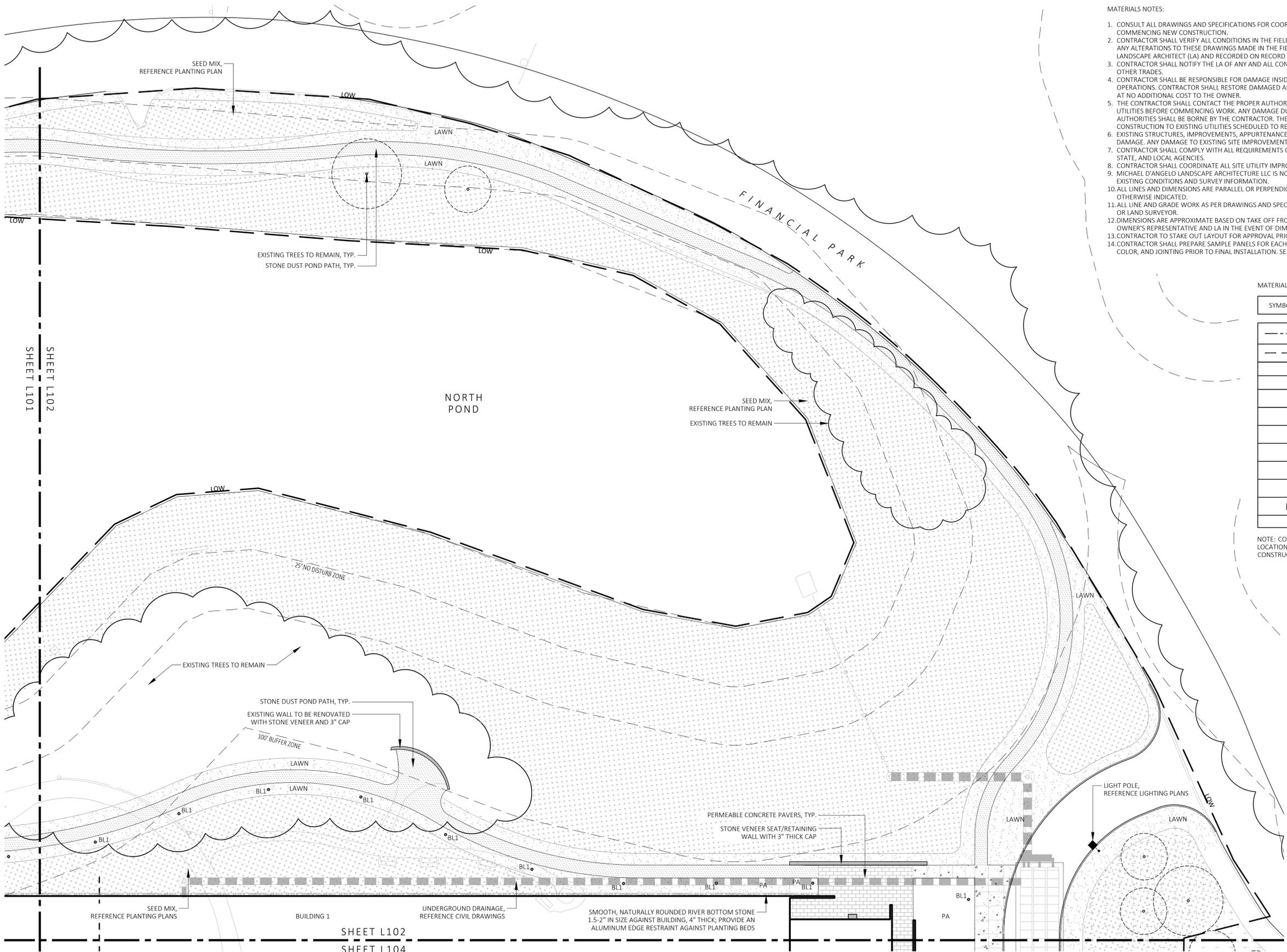
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**MATERIALS LEGEND:**

SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - - -	LIMIT OF WORK
PA	PLANTING AREA
AD / TD	AREA DRAIN / TRENCH DRAIN
[Pattern]	CONCRETE PAVEMENT
[Pattern]	PERMEABLE CONCRETE PAVERS
[Pattern]	STONE SURFACING
[Pattern]	STONE DUST POND PATH
[Pattern]	REINFORCED TURF
BL1	LIGHT BOLLARD
[Symbol]	LIGHT POLE
---	EXISTING TREELINE TO REMAIN

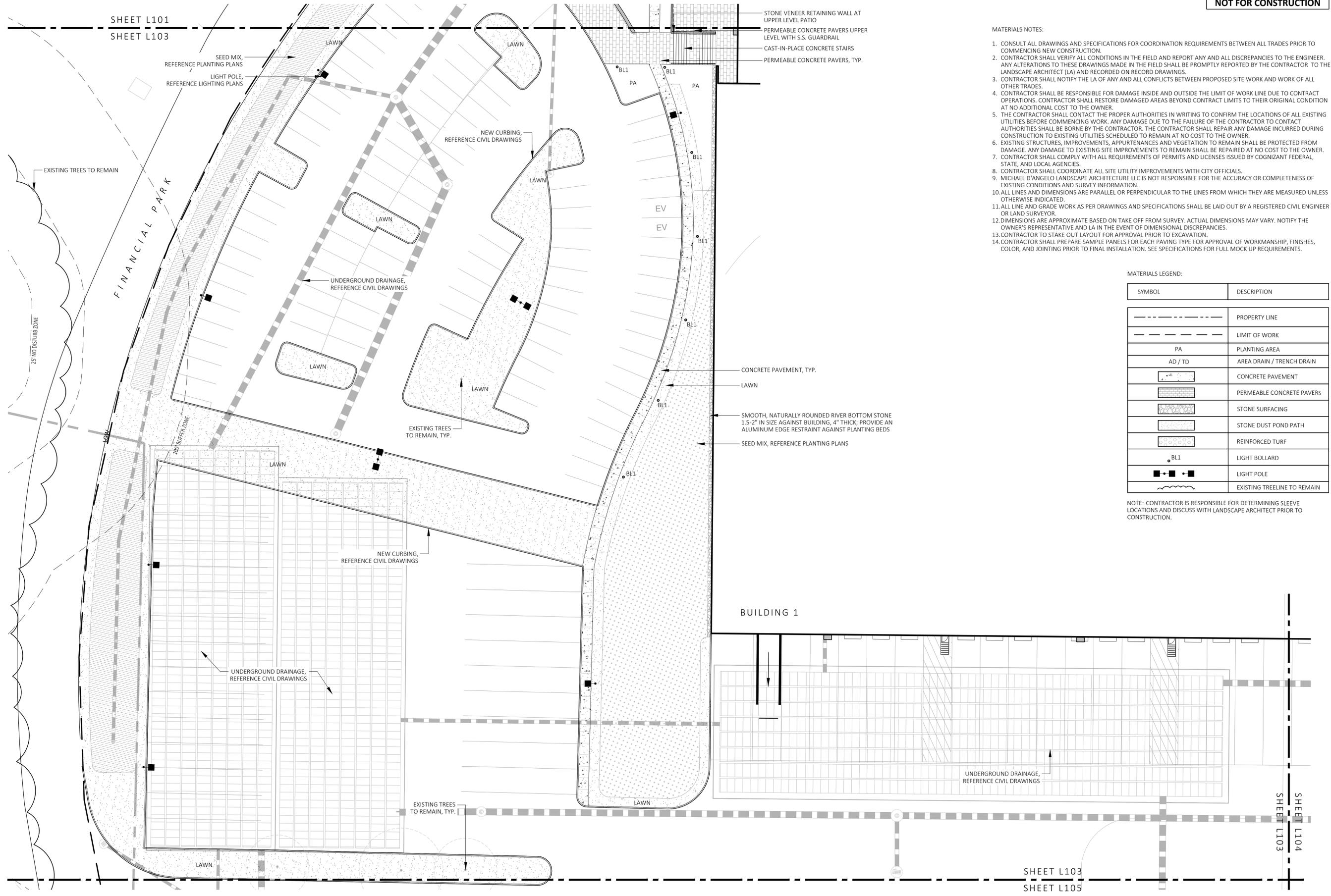
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**1 MATERIALS PLAN**  
SCALE: 1" = 20'-0"



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[Permeable Concrete Pattern]	PERMEABLE CONCRETE PAVERS
[Stone Pattern]	STONE SURFACING
[Stone Dust Pattern]	STONE DUST POND PATH
[Reinforced Turf Pattern]	REINFORCED TURF
BL1	LIGHT BOLLARD
[Light Pole Symbol]	LIGHT POLE
[Treeline Symbol]	EXISTING TREELINE TO REMAIN

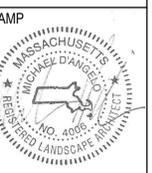
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**MDLA**  
MICHAEL D'ANGELO landscape architecture

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LANDSCAPE ARCHITECTURE LLC  
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BOSTON, MA 02127  
1.203.592.4788  
www.m-d-a.com

**CLIENT**  
BERKELEY PARTNERS  
1 WASHINGTON MALL, SUITE 701  
BOSTON, MA

**PROJECT**  
WAREHOUSE / INDUSTRIAL DEV.  
100 / 200 FINANCIAL PARK  
FRANKLIN, MA



**STAMP**

REV. NO.	DATE	DESCRIPTION
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2	7/17/23	RESPONSE TO COMMENTS
3	8/10/23	

**MATERIALS PLAN**

DRAWN: NC  
CHECKED: AS NOTED  
SCALE: AS NOTED  
DATE: 5/11/2023  
**L103**

**1 MATERIALS PLAN**  
SCALE: 1" = 20'-0"



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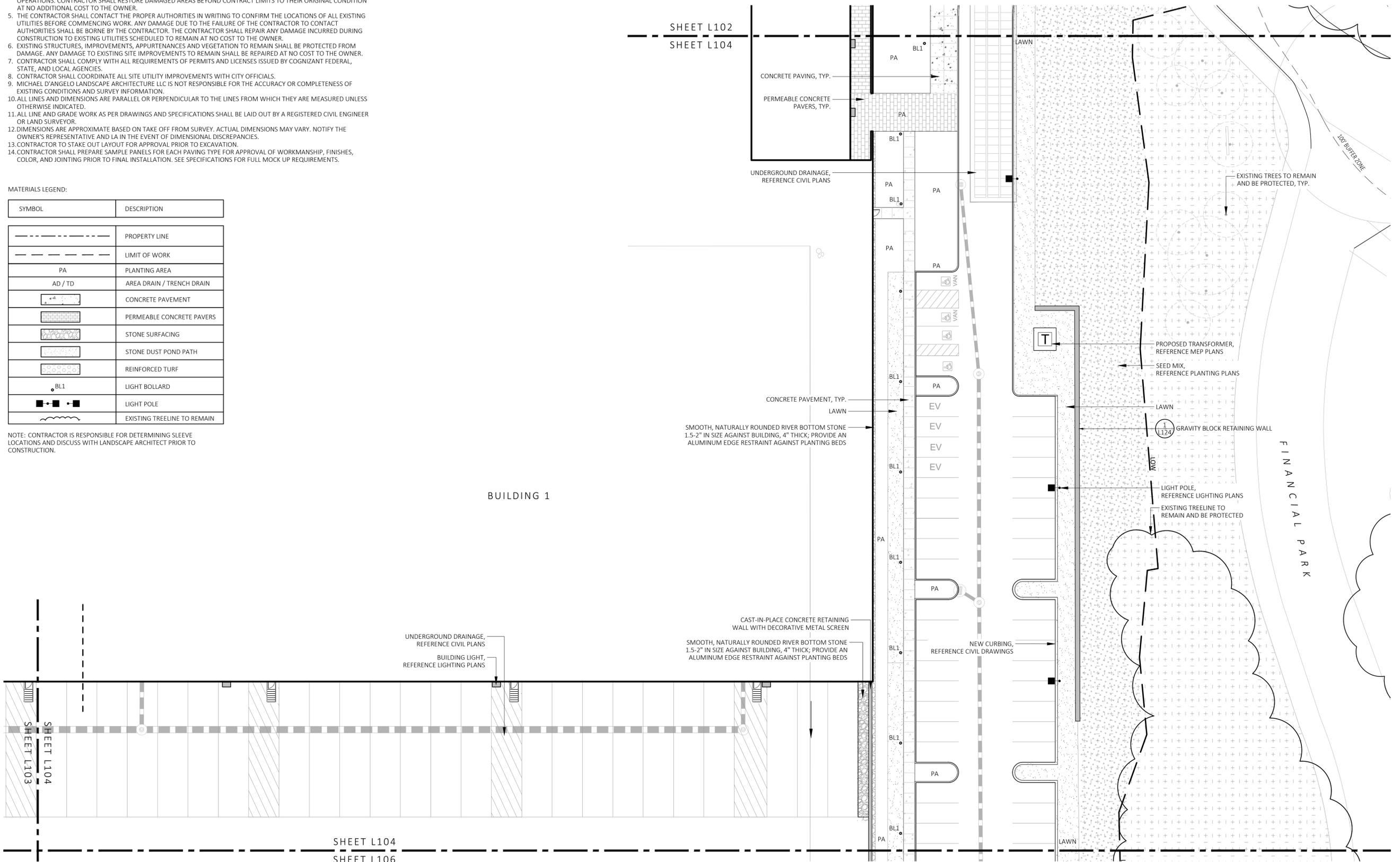
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[Symbol]	PERMEABLE CONCRETE PAVERS
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[Symbol]	REINFORCED TURF
BL1	LIGHT BOLLARD
[Symbol]	LIGHT POLE
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NO. 4098

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DRAWN:  
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CHECKED:  
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SCALE:  
AS NOTED

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5/11/2023

**L104**

SHEET 5 OF 24

plot date: 8/9/2023

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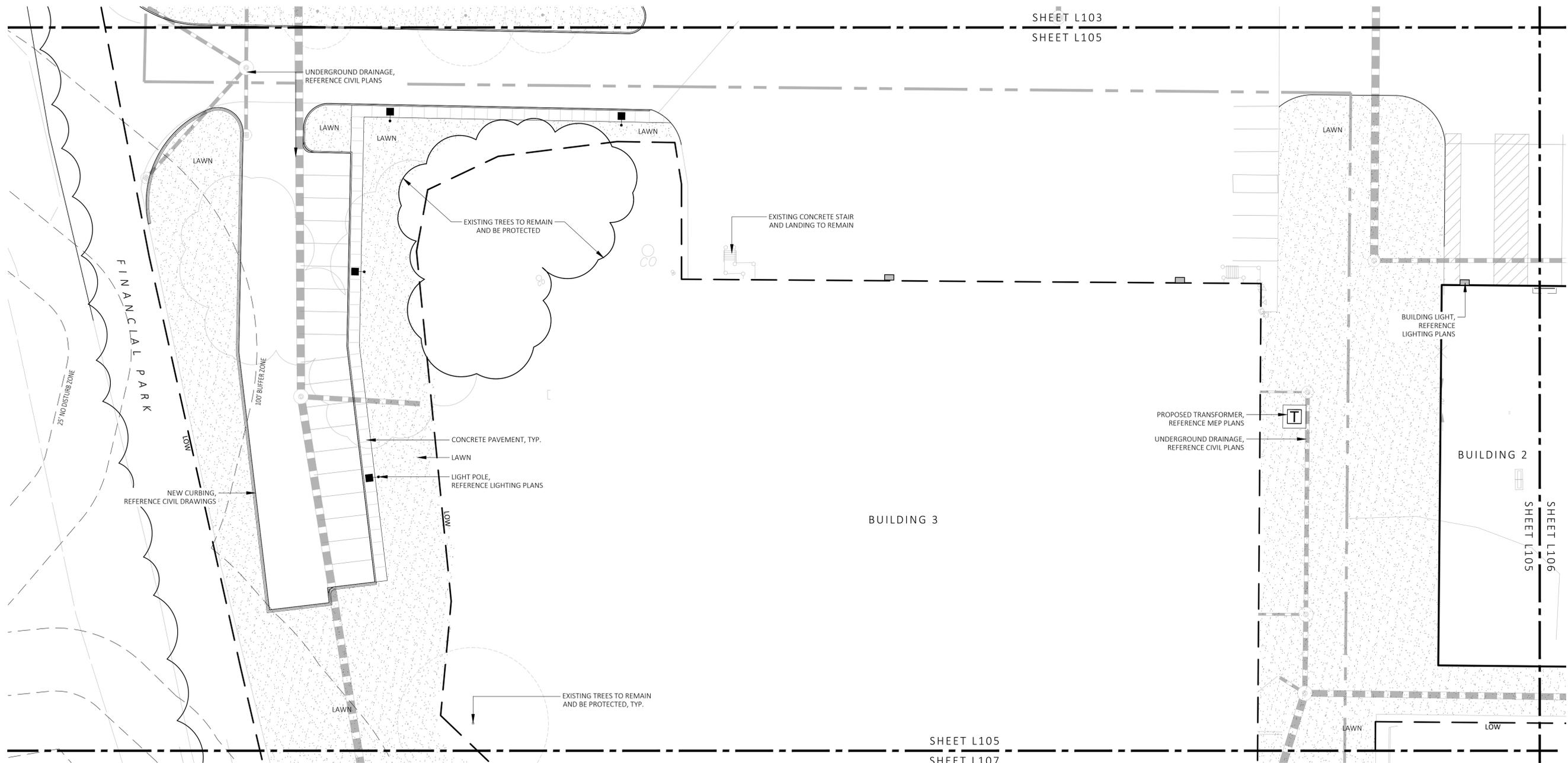
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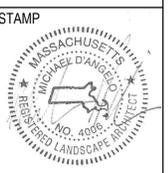
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MATERIALS PLAN

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SHEET 6 OF 24	

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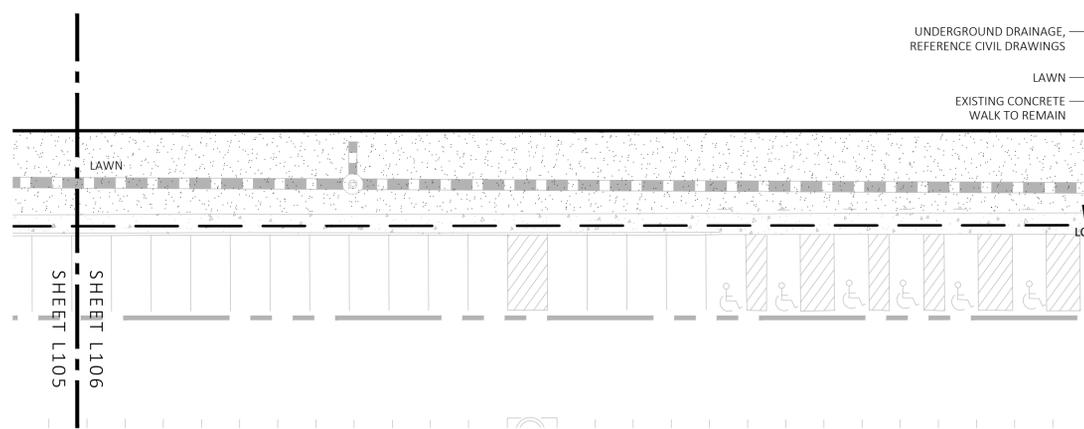
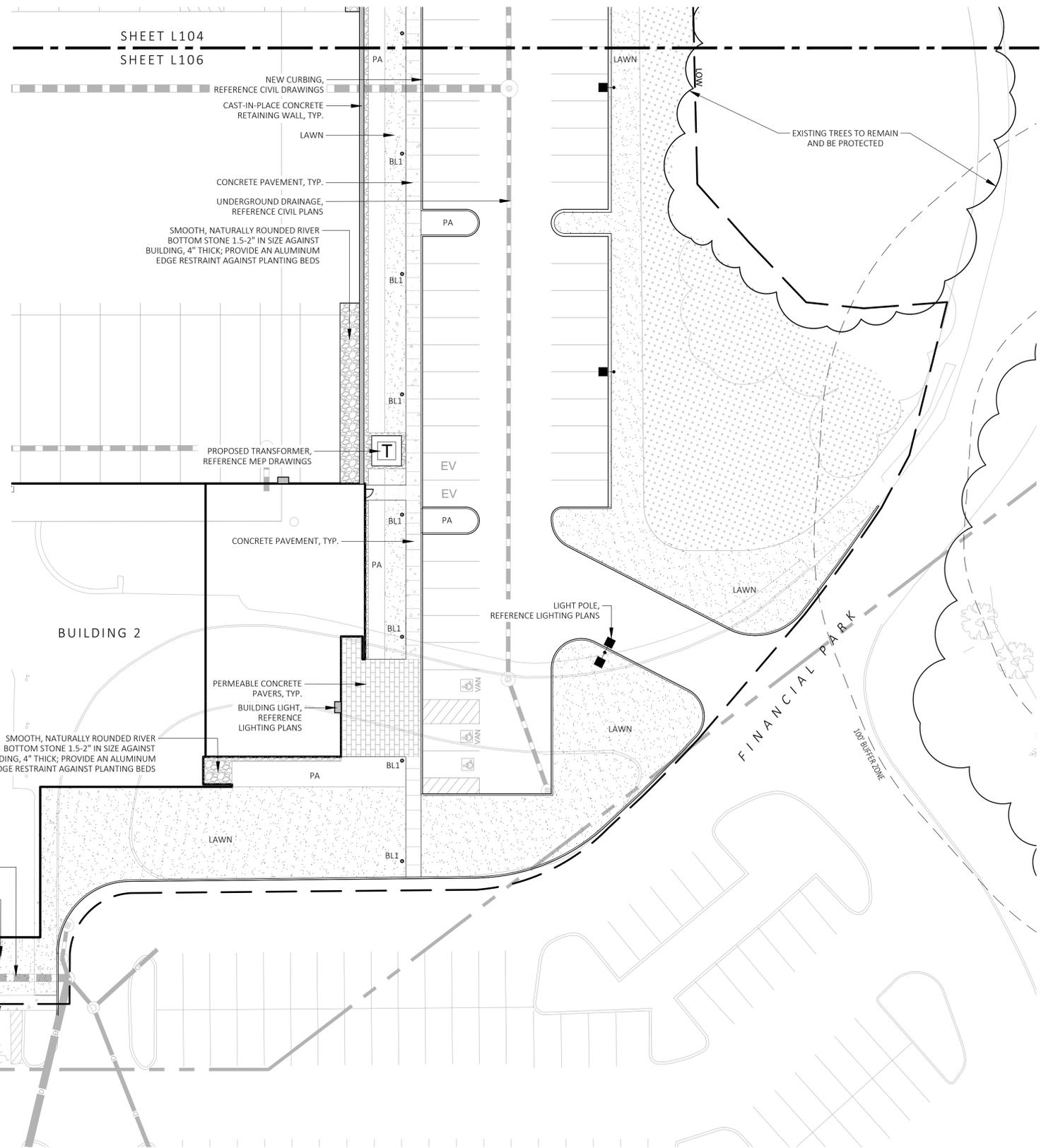
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SHEET 7 OF 24

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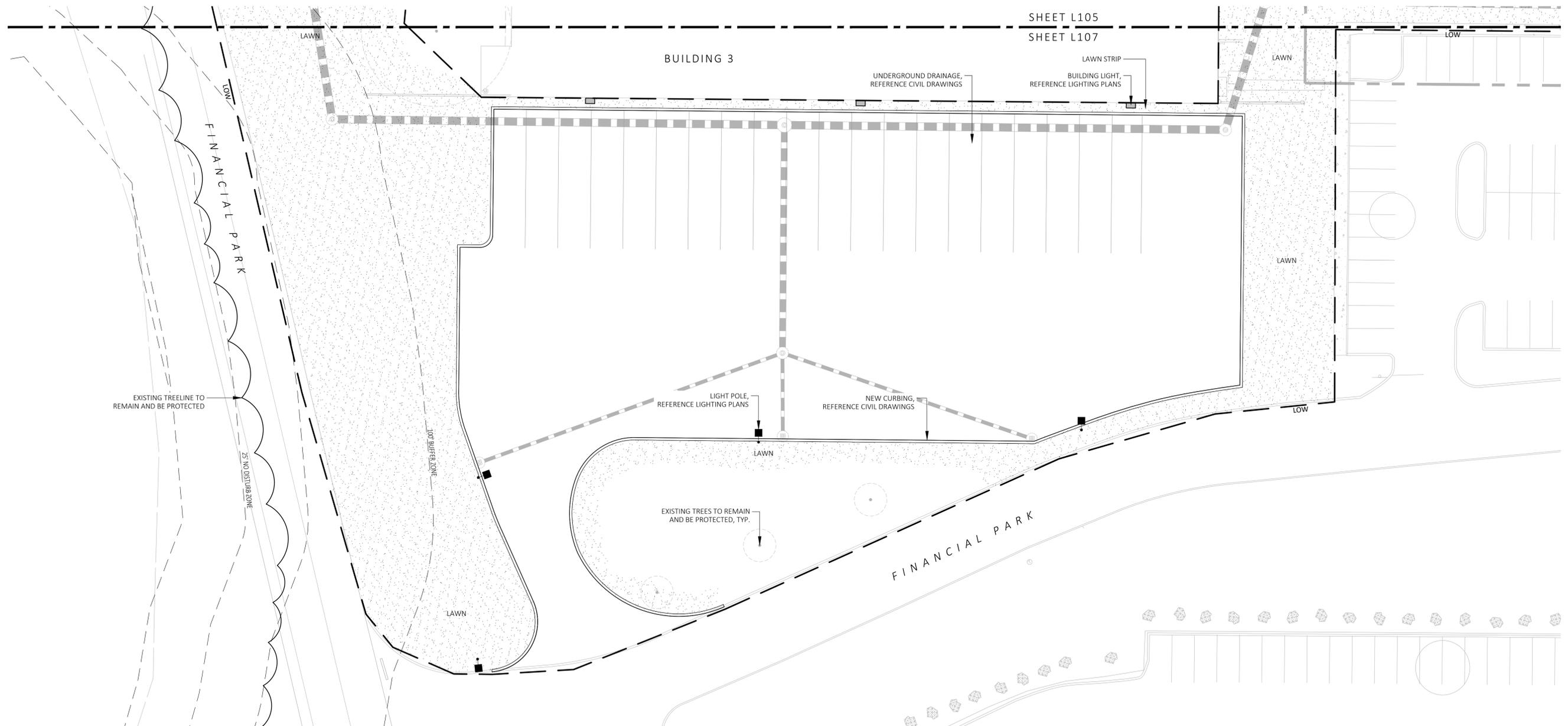
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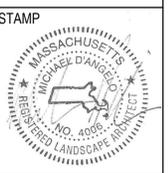
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REV. NO.	DATE	DESCRIPTION
1	5/11/23	FOR PERMIT
2	7/17/23	RESPONSE TO COMMENTS
3	8/10/23	

MATERIALS PLAN

DRAWN: NC	<b>L107</b>
CHECKED: AS NOTED	
SCALE: AS NOTED	
DATE: 5/11/2023	



FOR PERMIT ONLY  
NOT FOR CONSTRUCTION

LIGHT SCHEDULE					
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS   REP
○	BL1	ARLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY
■	SL3	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-3-U BEACON 555-B POLE 555-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK
■	SL4	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON 555-B POLE 555-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK
■	SL4-2	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON 555-B POLE 555-B-20-40-A-2-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK
■	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK
■	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK
---	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT	

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.

PLANT SCHEDULE					
SYMBOL	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES
<b>TREES</b>					
AR	24	ACER RUBRUM	RED MAPLE	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
BP	10	BETULA POPULIFOLIA	GRAY BIRCH	3"-3.5" CAL.	B&B, MULTI-STEM
CC	5	CERCIS CANADENSIS	REDBUD	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
PS	10	PINUS STROBUS	EASTERN WHITE PINE	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
PSC	17	PRUNUS SEROTINA	BLACK CHERRY	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
PH	16	PLATANUS HYBRIDA	LONDON PLANE TREE	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
TA	16	TILIA AMERICANA	BASSWOOD	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
<b>SHRUBS &amp; ORNAMENTAL GRASSES - TYPE A</b>					
		CLETHRA ALNIFOLIA	PEPPERBUSH	5 GAL	36" O.C. B&B
		HYDRANGEA QUERCIFOLIA	OAK-LEAVED HYDRANGEA	3"-3.5" TALL	36" O.C. B&B
		ILEX GLABRA	INKBERRY	3"-3.5" TALL	36" O.C. B&B
		ILEX VERTICILLATA	COMMON WINTERBERRY	3"-3.5" TALL	36" O.C. B&B
		KALMIA LATIFOLIA	MOUNTAIN LAUREL	3" TALL	36" O.C. B&B
		RHUS AROMATICA	FRAGRANT SUMAC	3"-3.5" TALL	36" O.C. B&B
		VIBURNUM DENTATUM	ARROWWOOD	3"-3.5" TALL	36" O.C. B&B
<b>SHRUBS &amp; ORNAMENTAL GRASSES - TYPE B</b>					
		COMPTONIA PEREGRINA	SWEET-FERN	2 GAL	24" O.C. CONTAINER
		IRIS VERSICOLOR	BLUE FLAG IRIS	2 GAL	24" O.C. CONTAINER
		PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	2.5"-3" TALL	24" O.C. B&B
<b>PERENNIALS</b>					
		CAREX PENNSYLVANICA	PENNSYLVANIA SEDGE	1 GAL	18" O.C. CONTAINER
		ECHINACEA PURPUREA	PURPLE CONEFLOWER	1 GAL	18" O.C. CONTAINER
		GERANIUM DALMATIUM	CRANESBILL	1 GAL	18" O.C. CONTAINER
<b>SEED MIX</b>					
		ERNST SEEDS 800-873-3321	ERNST MIX (ERNMX-181-1 & 181-2) NATIVE STEEP SLOPE MIX	75 LB/ACRE	APPLY COVER CROP: FALL; GRAIN RYE, SPRING; OAT; SEE SPEC SHEET
		ERNST SEEDS 800-873-3321	ERNST MIX (ERNMX-180) RAIN GARDEN MIX	20 LB/ACRE	APPLY COVER CROP OF GRAIN RYE; SEE SPEC SHEET

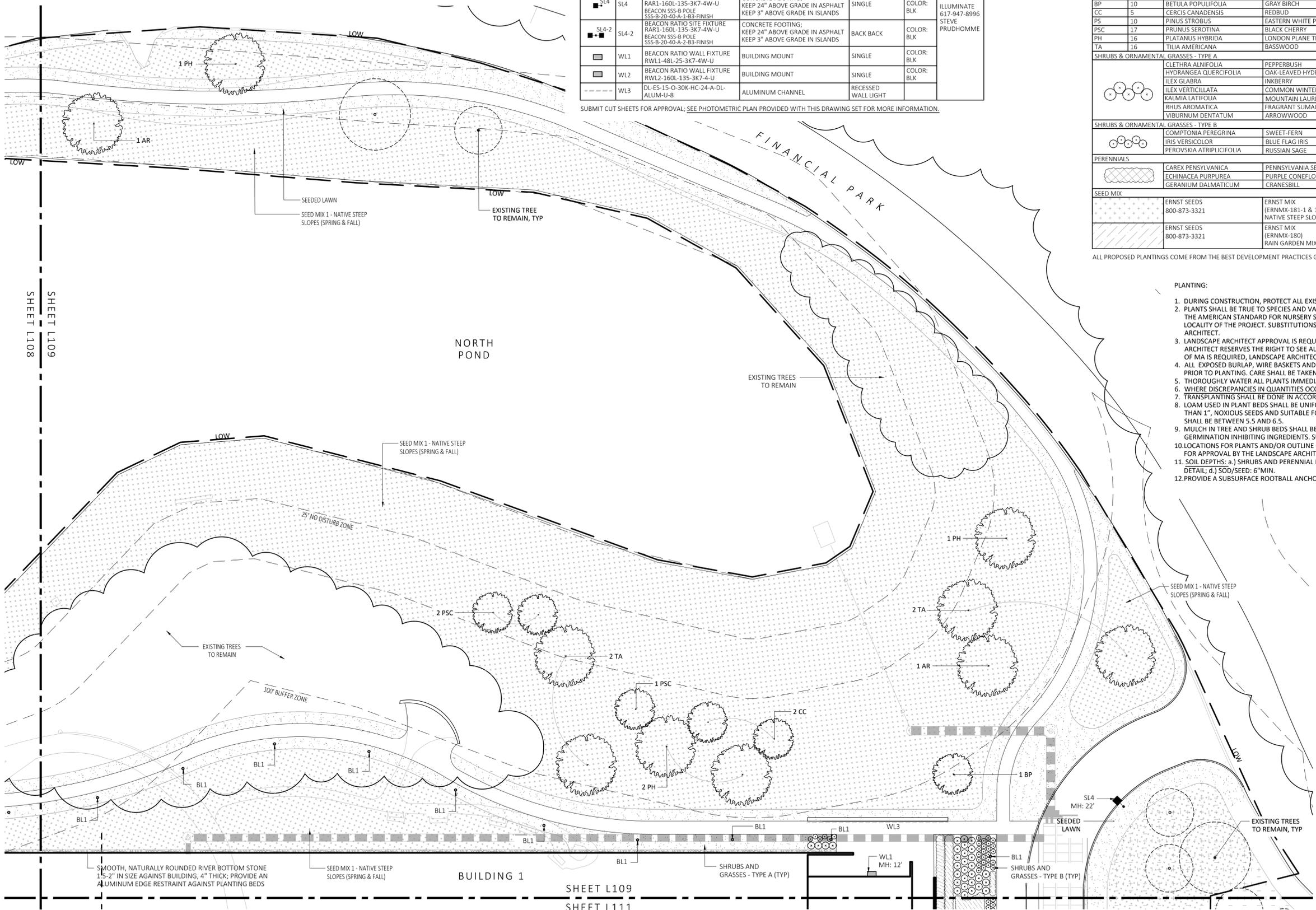
ALL PROPOSED PLANTINGS COME FROM THE BEST DEVELOPMENT PRACTICES GUIDEBOOK (§185-31.1.C.(K))

PLANTING:

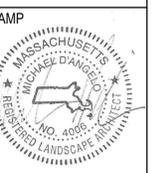
- DURING CONSTRUCTION, PROTECT ALL EXISTING SITE FEATURES, STRUCTURES AND UTILITIES.
- PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. SUBSTITUTIONS WILL BE PERMITTED ONLY IF APPROVED BY THE LANDSCAPE ARCHITECT.
- LANDSCAPE ARCHITECT APPROVAL IS REQUIRED BEFORE PLANT MATERIAL IS PURCHASED. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO SEE ALL MATERIAL IN PERSON AT THE NURSERY. IF TRAVEL OUTSIDE OF MA IS REQUIRED, LANDSCAPE ARCHITECT'S TRAVEL COSTS SHALL BE PAID FOR BY THE CONTRACTOR.
- ALL EXPOSED BURLAP, WIRE BASKETS AND OTHER MATERIALS ATTACHED TO PLANTS SHALL BE REMOVED PRIOR TO PLANTING. CARE SHALL BE TAKEN NOT TO DISTURB THE ROOT BALL OF PLANTS.
- THOROUGHLY WATER ALL PLANTS IMMEDIATELY AFTER PLANTING.
- WHERE DISCREPANCIES IN QUANTITIES OCCUR, DRAWINGS SUPERCEDE PLANT NOTES AND SCHEDULE.
- TRANSPLANTING SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK.
- LOAM USED IN PLANT BEDS SHALL BE UNIFORM IN COMPOSITION, FREE FROM SUBSOIL, STONES LARGER THAN 1", NOXIOUS SEEDS AND SUITABLE FOR THE SUPPORT OF VEGETATIVE GROWTH. THE pH VALUE SHALL BE BETWEEN 5.5 AND 6.5.
- MULCH IN TREE AND SHRUB BEDS SHALL BE NATURAL, NATIVE HEMLOCK MULCH FREE OF GROWTH OR GERMINATION INHIBITING INGREDIENTS. SUBMIT SAMPLES FOR APPROVAL.
- LOCATIONS FOR PLANTS AND/OR OUTLINE OF AREAS TO BE PLANTED ARE TO BE STAKED OUT AT THE SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
- SOIL DEPTHS: a.) SHRUBS AND PERENNIAL BEDS: 18" MIN.; b.) GROUND COVER: 6" MIN.; c.) TREES: SEE DETAIL; d.) SOD/SEED: 6" MIN.
- PROVIDE A SUBSURFACE ROOTBALL ANCHOR BY PLATYPUS EARTH ANCHORS, SIZE FOR CALIPER

GENERAL IRRIGATION NOTES:

- THE DESIGN/BUILD IRRIGATION SUB-CONTRACTOR SHALL PROVIDE A COMPLETE SYSTEM FOR THE IRRIGATION AREAS SHOWN ON THE PLAN, WHICH INCLUDES NEW AND EXISTING TRANSPLANTED PLANT MATERIALS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR FINAL LAYOUT OF IRRIGATION SHOWING LOCATIONS AND SIZES OF MAIN LINES AND LATERAL LINES, ZONES, RAIN AND SOIL SENSORS, AND CUT SHEETS FOR CONTROLLER SYSTEM AND COMPONENTS. INCLUDE ANY NECESSARY SLEEVING ON A DIAGRAM.
- IRRIGATION TO BE COORDINATED WITH GENERAL CONTRACTOR TO LOCATE THE NECESSARY PVC SLEEVING TO COMPLETE IRRIGATION PROGRAM.
- IRRIGATION CONTRACTOR SHALL VERIFY PSI/GPM REQUIREMENTS AT THE SITE BEFORE STARTING CONSTRUCTION.
- TREES SHOULD BE ON A SEPARATE ZONE.
- ALL TREES, SHRUBS, PERENNIALS, ORNAMENTAL GRASSES, AND GROUND COVER SHALL BE DRIP IRRIGATED. CONTRACTOR SHALL BE AWARE THAT THE IRRIGATION SYSTEM SHALL BE ROUTED TO THE PYLON SIGN PLANTER AND PLANTERS AT THE BUILDING.
- ALL LAWN AREAS SHALL BE SPRAY HEAD IRRIGATED. THE HEADS SHALL BE LOCATED FOR HEAD TO HEAD COVERAGE WITH ABSOLUTELY NO OVER SPRAY ONTO THE PAVEMENT.
- INSTALL DRIP TUBING, .6GPH, 12" CENTERS, STAKED EVERY TURN OR EVERY 4'
- THE CONTRACTOR SHALL BE EXTREMELY CAREFUL DURING THE INSTALLATION PROCESS NOT TO DISTURB NEW OR EXISTING PLANT MATERIALS. THE CONTRACTOR IS TO COORDINATE HIS WORK WITH OTHER SUB-CONTRACTORS.
- THE IRRIGATION CONTRACTOR SHALL CONFORM TO ANY LOCAL CODES OR ORDINANCES THAT MAY BE REQUIRED TO COMPLETE THE WORK.
- WATER SUPPLY AND CONTROLLER: COORDINATE CONNECTION TO WATER SUPPLY WITH GENERAL CONTRACTOR. COORDINATE CONTROLLER LOCATION WITH GENERAL CONTRACTOR.
- MEP CONTRACTOR TO PROVIDE BACK FLOW PREVENTION.
- THE IRRIGATION CONTRACTOR SHALL TEST WATER SOURCE FOR WATER QUALITY INCLUDING MINERALS THAT MAY CAUSE STAINING OF CONCRETE AND PAVING SURFACES.
- INSTALLER SHALL INSTALL MOISTURE SENSORS. CONTRACTOR SHALL INSTALL PER MANUFACTURER'S SPECIFICATIONS AND SHALL BE RESPONSIBLE TO PROGRAM RELATED HYDROZONES TO RESPECTIVE SOIL MOISTURE SENSORS. PROVIDE ONE FOR EACH IRRIGATION ZONE WITH AUTOMATIC SHUT-OFF ONCE MOISTURE REQUIREMENTS ARE MET.



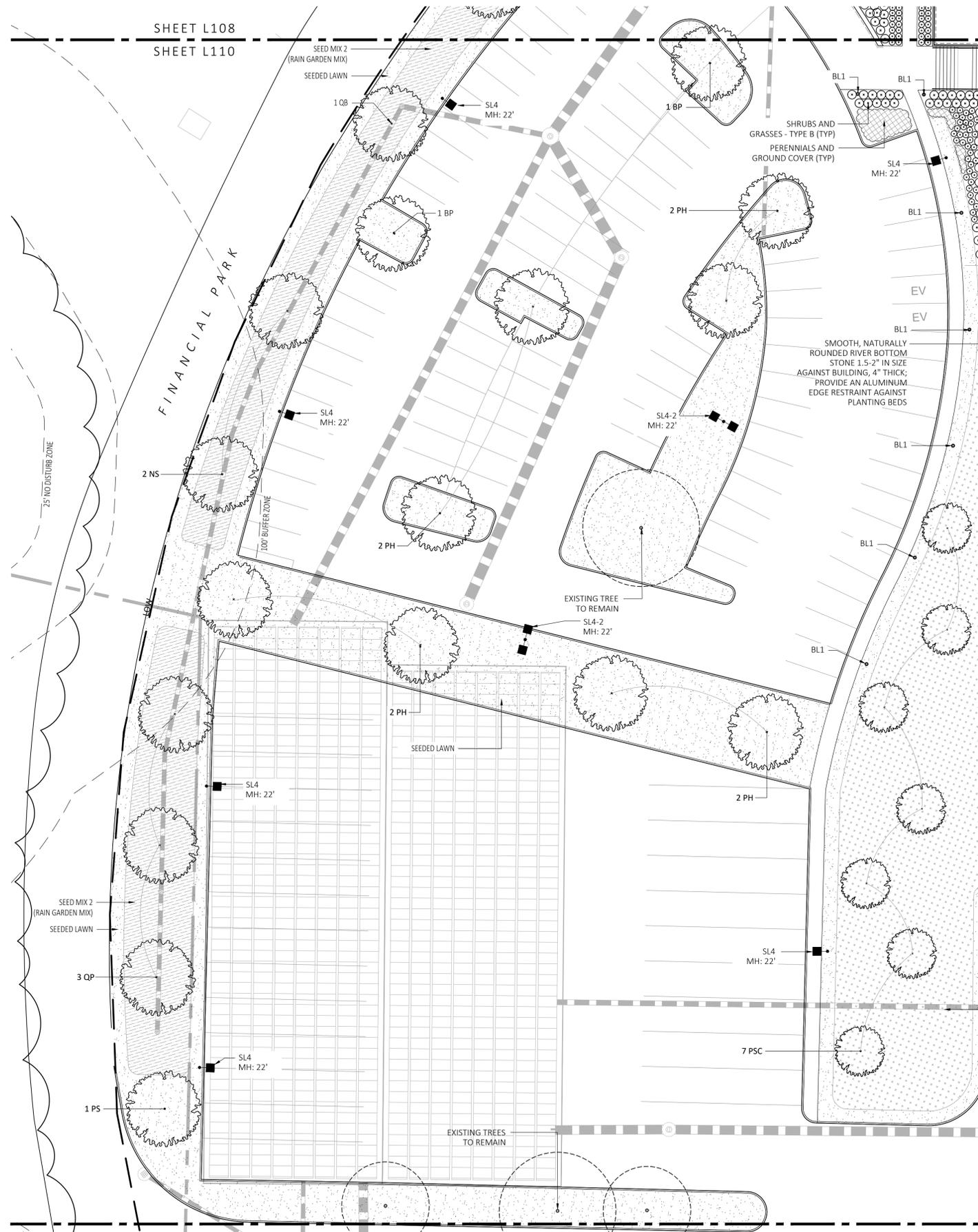
1 PLANTING & LIGHTING PLAN  
SCALE: 1" = 20'-0"



REV. NO.	DATE	DESCRIPTION
1	5/11/23	FOR PERMIT
2	7/17/23	RESPONSE TO COMMENTS
3	8/10/23	

PLANTING & LIGHTING PLAN

DRAWN: NC  
CHECKED: AS NOTED  
SCALE: L109  
AS NOTED  
DATE: 5/11/2023



PLANT SCHEDULE					
SYMBOL	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES
<b>TREES</b>					
AR	24	ACER RUBRUM	RED MAPLE	3"-3.5" CAL	B&B, 6' CLEAR BRANCHING
BP	10	BETULA POPULIFOLIA	GRAY BIRCH	3"-3.5" CAL	B&B, MULTI-STEM
CC	5	CERCIS CANADENSIS	REDBUD	3"-3.5" CAL	B&B, 6' CLEAR BRANCHING
PS	10	PINUS STROBUS	EASTERN WHITE PINE	3"-3.5" CAL	B&B, 6' CLEAR BRANCHING
PSC	17	PRUNUS SEROTINA	BLACK CHERRY	3"-3.5" CAL	B&B, 6' CLEAR BRANCHING
PH	16	PLATANUS HYBRIDA	LONDON PLANE TREE	3"-3.5" CAL	B&B, 6' CLEAR BRANCHING
TA	16	TILIA AMERICANA	BASSWOOD	3"-3.5" CAL	B&B, 6' CLEAR BRANCHING
<b>SHRUBS &amp; ORNAMENTAL GRASSES - TYPE A</b>					
		CLETHRA ALNIFOLIA	PEPPERBUSH	5 GAL	36" O.C. B&B
		HYDRANGEA QUERCIFOLIA	OAK-LEAVED HYDRANGEA	3"-3.5" TALL	36" O.C. B&B
		ILEX GLABRA	INKBERRY	3"-3.5" TALL	36" O.C. B&B
		ILEX VERTICILLATA	COMMON WINTERBERRY	3"-3.5" TALL	36" O.C. B&B
		KALMIA LATIFOLIA	MOUNTAIN LAUREL	3' TALL	36" O.C. B&B
		RHUS AROMATICA	FRAGRANT SUMAC	3"-3.5" TALL	36" O.C. B&B
		VIBURNUM DENTATUM	ARROWWOOD	3"-3.5" TALL	36" O.C. B&B
<b>SHRUBS &amp; ORNAMENTAL GRASSES - TYPE B</b>					
		COMPTONIA PEREGRINA	SWEET-FERN	2 GAL	24" O.C. CONTAINER
		IRIS VERSICOLOR	BLUE FLAG IRIS	2 GAL	24" O.C. CONTAINER
		PEROVSKIA ATRIPPLICIFOLIA	RUSSIAN SAGE	2.5"-3" TALL	24" O.C. B&B
<b>PERENNIALS</b>					
		CAREX PENNSYLVANICA	PENNSYLVANIA SEDGE	1 GAL	18" O.C. CONTAINER
		ECHINACEA PURPUREA	PURPLE CONEFLOWER	1 GAL	18" O.C. CONTAINER
		GERANIUM DALMATIUM	CRANESBILL	1 GAL	18" O.C. CONTAINER
<b>SEED MIX</b>					
		ERNST SEEDS 800-873-3321	ERNST MIX (ERNMX-181-1 & 181-2) NATIVE STEEP SLOPE MIX	75 LB/ACRE	APPLY COVER CROP; FALL: GRAIN RYE, SPRING: OAT; SEE SPEC SHEET
		ERNST SEEDS 800-873-3321	ERNST MIX (ERNMX-180) RAIN GARDEN MIX	20 LB/ACRE	APPLY COVER CROP OF GRAIN RYE; SEE SPEC SHEET

BIORETENTION PLANT SCHEDULE					
SYMBOL	QTY.	LATIN NAME	COMMON NAME	NOTES	
<b>TREES</b>					
NS	2	NYSSA SYLVATICA	BLACK GUM	TREE, SUN, MESIC-HYDRIC	
QB	2	QUERCUS BICOLOR	SWAMP WHITE OAK	TREE, SUN/PARTIAL SUN, MESIC TO WET MESIC	
QP	3	QUERCUS PALUSTRIS	PIN OAK	TREE, SUN, MESIC-HYDRIC	
<b>SHRUBS</b>					
CA		CLETHRA ALNIFOLIA	SWEET PEPPERBUSH	SHRUB, SUN/PARTIAL SUN, MESIC TO WET MESIC	
CS		CORNUS SERICEA	RED OSIER DOGWOOD	SHRUB, SUN/SHADE, MESIC-HYDRIC	
IG		ILEX GLABRA	INKBERRY	SHRUB, SUN/PARTIAL SUN, MESIC TO WET MESIC	
IV		ILEX VERTICILLATA	WINTERBERRY	SHRUB, SUN/PARTIAL SUN, MESIC TO WET MESIC	
LB		LINDERA BENZOIN	SPICEBUSH	SHRUB, SUN, MESIC TO WET MESIC	
VD		VIBURNUM DENTATUM	ARROWWOOD	SHRUB, SUN, MESIC TO WET MESIC	
<b>GRASSES</b>					
AG		ANDROPOGON VIRGINICUS	BROOMSEDGE	GRASS, FULL SUN, WET MEADOW	
DC		DESCHAMPSIA CESPITOSA	TUFTED HAIRGRASS	GRASS, SUN, MESIC TO WET MESIC	
HH		HEDERA HELIX	ENGLISH IVY	EVERGREEN GROUNDCOVER, SUN, MESIC	
LC		LOTUS CORNICULATUS	BIRD'S-FOOT TREFLOID	GRASS, SUN, MESIC-XERIC	
PV		PANICUM VIRGATUM	SWITCH GRASS	GRASS, SUN/SHADE, MESIC	
RL		RUDBECKIA LACINIATA	GREEN-HEADED CONEFLOWER	GRASS, SUN/SHADE	
SS		SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	GRASS, SUN/SHADE	

ALL PROPOSED PLANTINGS COME FROM THE BEST DEVELOPMENT PRACTICES GUIDEBOOK (\$185-31-C.K.)

LIGHT SCHEDULE						
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
BL1		ARCLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	
SL3		BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-3-U BEACON SSS-B POLE SSS-B-20-40A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
SL4		BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
SL4-2		BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40A-2-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
WL1		BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
WL2		BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
WL3		DL-ES-15-O-30K-HC-24-A-DL-ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT	COLOR: BLK	

ALL PROPOSED PLANTINGS FROM VOLUME 2, CHAPTER 2: STRUCTURAL BMP SPECIFICATIONS FOR THE MASSACHUSETTS STORMWATER HANDBOOK - PLANT SPECIES SUITABLE FOR USE IN BIORETENTION - HERBACEOUS SPECIES

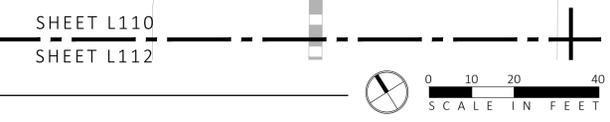
SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.						
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
WL4		DL-ES-15-O-30K-HC-24-A-DL-ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT	COLOR: BLK	

**FOR PERMIT ONLY  
NOT FOR CONSTRUCTION**

- PLANTING:**
- DURING CONSTRUCTION, PROTECT ALL EXISTING SITE FEATURES, STRUCTURES AND UTILITIES.
  - PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. SUBSTITUTIONS WILL BE PERMITTED ONLY IF APPROVED BY THE LANDSCAPE ARCHITECT.
  - LANDSCAPE ARCHITECT APPROVAL IS REQUIRED BEFORE PLANT MATERIAL IS PURCHASED. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO SEE ALL MATERIAL IN PERSON AT THE NURSERY. IF TRAVEL OUTSIDE OF MA IS REQUIRED, LANDSCAPE ARCHITECT'S TRAVEL COSTS SHALL BE PAID FOR BY THE CONTRACTOR.
  - ALL EXPOSED BURLAP, WIRE BASKETS AND OTHER MATERIALS ATTACHED TO PLANTS SHALL BE REMOVED PRIOR TO PLANTING. CARE SHALL BE TAKEN NOT TO DISTURB THE ROOT BALL OF PLANTS.
  - THOROUGHLY WATER ALL PLANTS IMMEDIATELY AFTER PLANTING.
  - WHERE DISCREPANCIES IN QUANTITIES OCCUR, DRAWINGS SUPERCEDE PLANT NOTES AND SCHEDULE.
  - TRANSPLANTING SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK.
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  - LOCATIONS FOR PLANTS AND/OR OUTLINE OF AREAS TO BE PLANTED ARE TO BE STAKED OUT AT THE SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
  - SOIL DEPTHS: a.) SHRUBS AND PERENNIAL BEDS: 18" MIN.; b.) GROUND COVER: 6" MIN.; c.) TREES: SEE DETAIL; d.) SOD/SEED: 6" MIN.
  - PROVIDE A SUBSURFACE ROOTBALL ANCHOR BY PLATIPUS EARTH ANCHORS, SIZE FOR CALIPER

- GENERAL IRRIGATION NOTES:**
- THE DESIGN/BUILD IRRIGATION SUB-CONTRACTOR SHALL PROVIDE A COMPLETE SYSTEM FOR THE IRRIGATION AREAS SHOWN ON THE PLAN, WHICH INCLUDES NEW AND EXISTING TRANSPLANTED PLANT MATERIALS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR FINAL LAYOUT OF IRRIGATION SHOWING LOCATIONS AND SIZES OF MAIN LINES AND LATERAL LINES, ZONES, RAIN AND SOIL SENSORS, AND CUT SHEETS FOR CONTROLLER SYSTEM AND COMPONENTS. INCLUDE ANY NECESSARY SLEEVING ON A DIAGRAM.
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  - MEP CONTRACTOR TO PROVIDE BACK FLOW PREVENTION.
  - THE IRRIGATION CONTRACTOR SHALL TEST WATER SOURCE FOR WATER QUALITY INCLUDING MINERALS THAT MAY CAUSE STAINING OF CONCRETE AND PAVING SURFACES.
  - INSTALLER SHALL INSTALL MOISTURE SENSORS. CONTRACTOR SHALL INSTALL PER MANUFACTURER'S SPECIFICATIONS AND SHALL BE RESPONSIBLE TO PROGRAM RELATED HYDROZONES TO RESPECTIVE SOIL MOISTURE SENSORS. PROVIDE ONE FOR EACH IRRIGATION ZONE WITH AUTOMATIC SHUT-OFF ONCE MOISTURE REQUIREMENTS ARE MET.

**1 PLANTING & LIGHTING PLAN**  
SCALE: 1" = 20'-0"



**MDLA**  
MICHAEL D'ANGELO landscape architecture

MICHAEL D'ANGELO LANDSCAPE ARCHITECTURE LLC  
840 SUMMER STREET SUITE 203A  
BOSTON, MA 02127  
1. 203.592.4788  
www.m-d-a.com

**CLIENT**  
BERKELEY PARTNERS  
1 WASHINGTON MALL, SUITE 701  
BOSTON, MA

**PROJECT**  
WAREHOUSE / INDUSTRIAL DEV.  
100 / 200 FINANCIAL PARK  
FRANKLIN, MA

**STAMP**  
MICHAEL D'ANGELO  
REGISTERED LANDSCAPE ARCHITECT  
NO. 4098

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**PLANTING & LIGHTING PLAN**

DRAWN: NC  
CHECKED: AS NOTED  
SCALE: L110  
AS NOTED  
DATE: 5/11/2023

**SHEET 11 OF 24**

plot date: 8/9/2023

FOR PERMIT ONLY  
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PLANT SCHEDULE					
SYMBOL	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES
<b>TREES</b>					
AR	24	ACER RUBRUM	RED MAPLE	3"-3.5" CAL	B&B, 6' CLEAR BRANCHING
BP	10	BETULA POPULIFOLIA	GRAY BIRCH	3"-3.5" CAL	B&B, MULTI-STEM
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PS	10	PINUS STROBUS	EASTERN WHITE PINE	3"-3.5" CAL	B&B, 6' CLEAR BRANCHING
PSC	17	PRUNUS SEROTINA	BLACK CHERRY	3"-3.5" CAL	B&B, 6' CLEAR BRANCHING
PH	16	PLATANUS HYBRIDA	LONDON PLANE TREE	3"-3.5" CAL	B&B, 6' CLEAR BRANCHING
TA	16	TILIA AMERICANA	BASSWOOD	3"-3.5" CAL	B&B, 6' CLEAR BRANCHING
<b>SHRUBS &amp; ORNAMENTAL GRASSES - TYPE A</b>					
		CLETHRA ALNIFOLIA	PEPPERBUSH	5 GAL	36" O.C. B&B
		HYDRANGEA QUERCIFOLIA	OAK-LEAVED HYDRANGEA	3"-3.5" TALL	36" O.C. B&B
		ILEX GLABRA	INKBERRY	3"-3.5" TALL	36" O.C. B&B
		ILEX VERTICILLATA	COMMON WINTERBERRY	3"-3.5" TALL	36" O.C. B&B
		KALMIA LATIFOLIA	MOUNTAIN LAUREL	3" TALL	36" O.C. B&B
		RHUS AROMATICA	FRAGRANT SUMAC	3"-3.5" TALL	36" O.C. B&B
		VIBURNUM DENTATUM	ARROWWOOD	3"-3.5" TALL	36" O.C. B&B
<b>SHRUBS &amp; ORNAMENTAL GRASSES - TYPE B</b>					
		COMPTONIA PEREGRINA	SWEET-FERN	2 GAL	24" O.C. CONTAINER
		IRIS VERSICOLOR	BLUE FLAG IRIS	2 GAL	24" O.C. CONTAINER
		PEROVSKIA ATRIPPLICIFOLIA	RUSSIAN SAGE	2.5'-3" TALL	24" O.C. B&B
<b>PERENNIALS</b>					
		CAREX PENNSYLVANICA	PENNSYLVANIA SEDGE	1 GAL	18" O.C. CONTAINER
		ECHINACEA PURPUREA	PURPLE CONEFLOWER	1 GAL	18" O.C. CONTAINER
		GERANIUM DALMATIUM	CRANESBILL	1 GAL	18" O.C. CONTAINER
<b>SEED MIX</b>					
		ERNST SEEDS 800-873-3321	ERNST MIX (ERNMX-181-1 & 181-2) NATIVE STEEP SLOPE MIX	75 LB/ACRE	APPLY COVER CROP; FALL: GRAIN RYE, SPRING: OAT; SEE SPEC SHEET
		ERNST SEEDS 800-873-3321	ERNST MIX (ERNMX-180) RAIN GARDEN MIX	20 LB/ACRE	APPLY COVER CROP OF GRAIN RYE; SEE SPEC SHEET

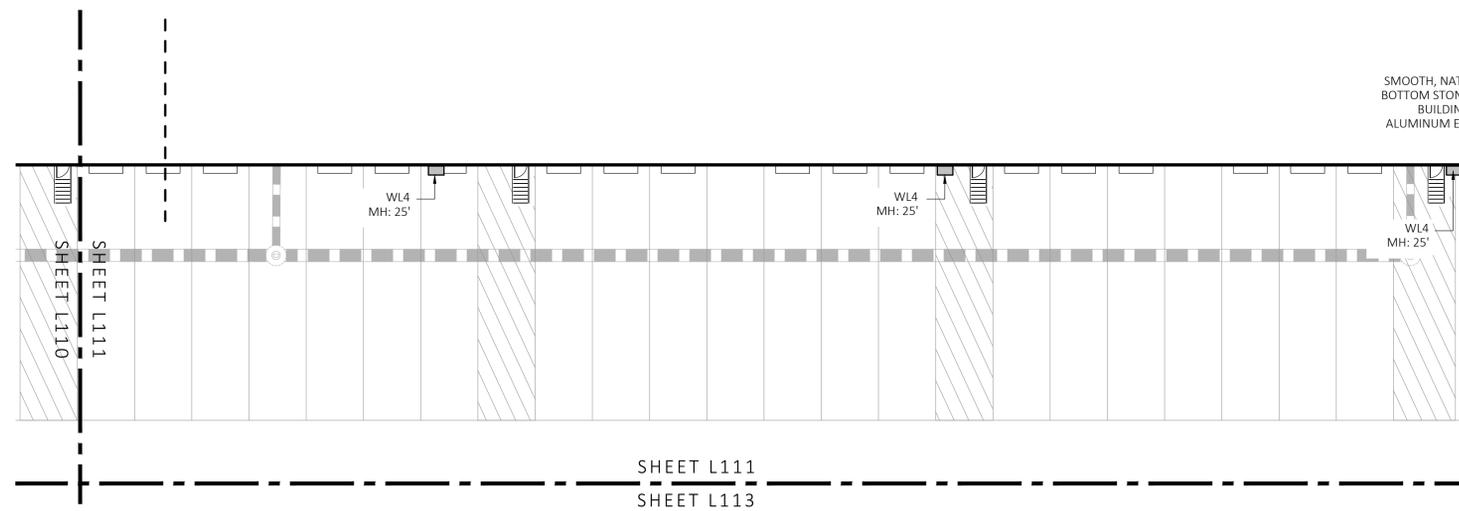
ALL PROPOSED PLANTINGS COME FROM THE BEST DEVELOPMENT PRACTICES GUIDEBOOK (§185-31.3.C.K)

LIGHT SCHEDULE						
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
○	BL1	ARCLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	
■	SL3	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-3-U BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
■	SL4-2	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-2-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
□	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
□	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
---	WL3	DL-ES-15-0K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT	COLOR: BLK	

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.

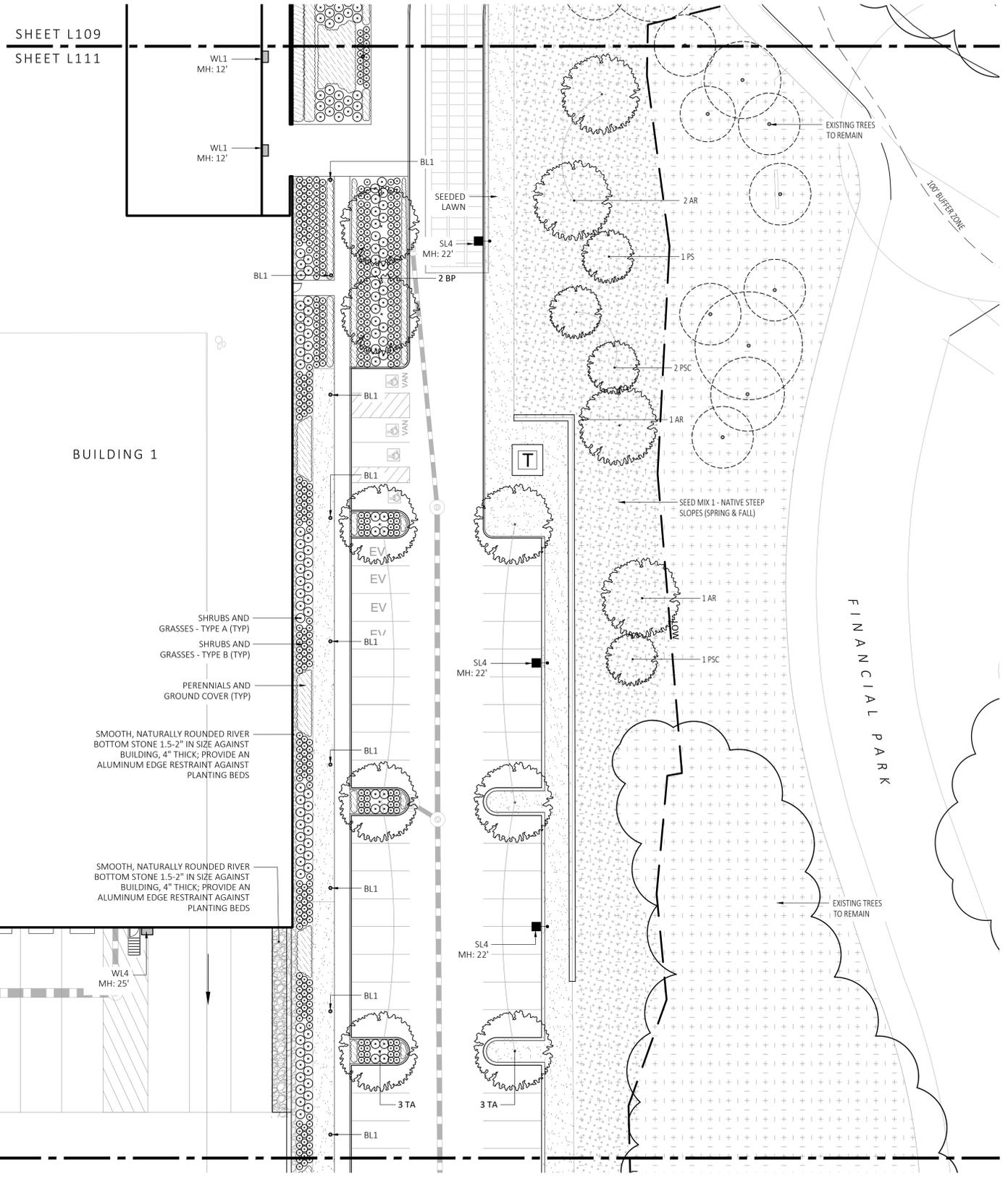
GENERAL IRRIGATION NOTES:

- THE DESIGN/BUILD IRRIGATION SUB-CONTRACTOR SHALL PROVIDE A COMPLETE SYSTEM FOR THE IRRIGATION AREAS SHOWN ON THE PLAN, WHICH INCLUDES NEW AND EXISTING TRANSPLANTED PLANT MATERIALS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR FINAL LAYOUT OF IRRIGATION SHOWING LOCATIONS AND SIZES OF MAIN LINES AND LATERAL LINES, ZONES, RAIN AND SOIL SENSORS, AND CUT SHEETS FOR CONTROLLER SYSTEM AND COMPONENTS. INCLUDE ANY NECESSARY SLEEVING ON A DIAGRAM.
- IRRIGATION TO BE COORDINATED WITH GENERAL CONTRACTOR TO LOCATE THE NECESSARY PVC SLEEVING TO COMPLETE IRRIGATION PROGRAM.
- IRRIGATION CONTRACTOR SHALL VERIFY PSI/GPM REQUIREMENTS AT THE SITE BEFORE STARTING CONSTRUCTION.
- TREES SHOULD BE ON A SEPARATE ZONE.
- ALL TREES, SHRUBS, PERENNIALS, ORNAMENTAL GRASSES, AND GROUND COVER SHALL BE DRIP IRRIGATED. CONTRACTOR SHALL BE AWARE THAT THE IRRIGATION SYSTEM SHALL BE ROUTED TO THE PYLON SIGN PLANTER AND PLANTERS AT THE BUILDING.
- ALL LAWN AREAS SHALL BE SPRAY HEAD IRRIGATED. THE HEADS SHALL BE LOCATED FOR HEAD TO HEAD COVERAGE WITH ABSOLUTELY NO OVER SPRAY ONTO THE PAVEMENT.
- INSTALL DRIP TUBING, .6GPH, 12" CENTERS, STAKED EVERY TURN OR EVERY 4'
- THE CONTRACTOR SHALL BE EXTREMELY CAREFUL DURING THE INSTALLATION PROCESS NOT TO DISTURB NEW OR EXISTING PLANT MATERIALS. THE CONTRACTOR IS TO COORDINATE HIS WORK WITH OTHER SUB-CONTRACTORS.
- THE IRRIGATION CONTRACTOR SHALL CONFORM TO ANY LOCAL CODES OR ORDINANCES THAT MAY BE REQUIRED TO COMPLETE THE WORK.
- WATER SUPPLY AND CONTROLLER: COORDINATE CONNECTION TO WATER SUPPLY WITH GENERAL CONTRACTOR. COORDINATE CONTROLLER LOCATION WITH GENERAL CONTRACTOR.
- MEP CONTRACTOR TO PROVIDE BACK FLOW PREVENTION.
- THE IRRIGATION CONTRACTOR SHALL TEST WATER SOURCE FOR WATER QUALITY INCLUDING MINERALS THAT MAY CAUSE STAINING OF CONCRETE AND PAVING SURFACES.
- INSTALLER SHALL INSTALL MOISTURE SENSORS. CONTRACTOR SHALL INSTALL PER MANUFACTURER'S SPECIFICATIONS AND SHALL BE RESPONSIBLE TO PROGRAM RELATED HYDROZONES TO RESPECTIVE SOIL MOISTURE SENSORS. PROVIDE ONE FOR EACH IRRIGATION ZONE WITH AUTOMATIC SHUT-OFF ONCE MOISTURE REQUIREMENTS ARE MET.



PLANTING:

- DURING CONSTRUCTION, PROTECT ALL EXISTING SITE FEATURES, STRUCTURES AND UTILITIES.
- PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. SUBSTITUTIONS WILL BE PERMITTED ONLY IF APPROVED BY THE LANDSCAPE ARCHITECT.
- LANDSCAPE ARCHITECT APPROVAL IS REQUIRED BEFORE PLANT MATERIAL IS PURCHASED. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO SEE ALL MATERIAL IN PERSON AT THE NURSERY. IF TRAVEL OUTSIDE OF MA IS REQUIRED, LANDSCAPE ARCHITECT'S TRAVEL COSTS SHALL BE PAID FOR BY THE CONTRACTOR.
- ALL EXPOSED BURLAP, WIRE BASKETS AND OTHER MATERIALS ATTACHED TO PLANTS SHALL BE REMOVED PRIOR TO PLANTING. CARE SHALL BE TAKEN NOT TO DISTURB THE ROOT BALL OF PLANTS.
- THOROUGHLY WATER ALL PLANTS IMMEDIATELY AFTER PLANTING.
- WHERE DISCREPANCIES IN QUANTITIES OCCUR, DRAWINGS SUPERCEDE PLANT NOTES AND SCHEDULE.
- TRANSPLANTING SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK.
- LOAM USED IN PLANT BEDS SHALL BE UNIFORM IN COMPOSITION, FREE FROM SUBSOIL, STONES LARGER THAN 1", NOXIOUS SEEDS AND SUITABLE FOR THE SUPPORT OF VEGETATIVE GROWTH. THE pH VALUE SHALL BE BETWEEN 5.5 AND 6.5.
- MULCH IN TREE AND SHRUB BEDS SHALL BE NATURAL, NATIVE HEMLOCK MULCH FREE OF GROWTH OR GERMINATION INHIBITING INGREDIENTS. SUBMIT SAMPLES FOR APPROVAL.
- LOCATIONS FOR PLANTS AND/OR OUTLINE OF AREAS TO BE PLANTED ARE TO BE STAKED OUT AT THE SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
- SOIL DEPTHS: a.) SHRUBS AND PERENNIAL BEDS: 18" MIN.; b.) GROUND COVER: 6" MIN.; c.) TREES: SEE DETAIL; d.) SOD/SOED: 6" MIN.
- PROVIDE A SUBSURFACE ROOTBALL ANCHOR BY PLATIPUS EARTH ANCHORS, SIZE FOR CALIPER



1 PLANTING & LIGHTING PLAN  
SCALE: 1" = 20'-0"



REV. NO.	DATE	DESCRIPTION
1	5/11/23	FOR PERMIT
2	7/17/23	RESPONSE TO COMMENTS
3	8/10/23	

PLANTING & LIGHTING PLAN

DRAWN: NC	L111
CHECKED: AS NOTED	
SCALE: AS NOTED	
DATE: 5/11/2023	

PLANTING:

- DURING CONSTRUCTION, PROTECT ALL EXISTING SITE FEATURES, STRUCTURES AND UTILITIES.
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- ALL EXPOSED BURIAL WIRE BASKETS AND OTHER MATERIALS ATTACHED TO PLANTS SHALL BE REMOVED PRIOR TO PLANTING. CARE SHALL BE TAKEN NOT TO DISTURB THE ROOT BALL OF PLANTS.
- THOROUGHLY WATER ALL PLANTS IMMEDIATELY AFTER PLANTING.
- WHERE DISCREPANCIES IN QUANTITIES OCCUR, DRAWINGS SUPERCEDE PLANT NOTES AND SCHEDULE.
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- LOAM USED IN PLANT BEDS SHALL BE UNIFORM IN COMPOSITION, FREE FROM SUBSOIL, STONES LARGER THAN 1", NOXIOUS SEEDS AND SUITABLE FOR THE SUPPORT OF VEGETATIVE GROWTH. THE PH VALUE SHALL BE BETWEEN 5.5 AND 6.5.
- MULCH IN TREE AND SHRUB BEDS SHALL BE NATURAL, NATIVE HEMLOCK MULCH FREE OF GROWTH OR GERMINATION INHIBITING INGREDIENTS. SUBMIT SAMPLES FOR APPROVAL.
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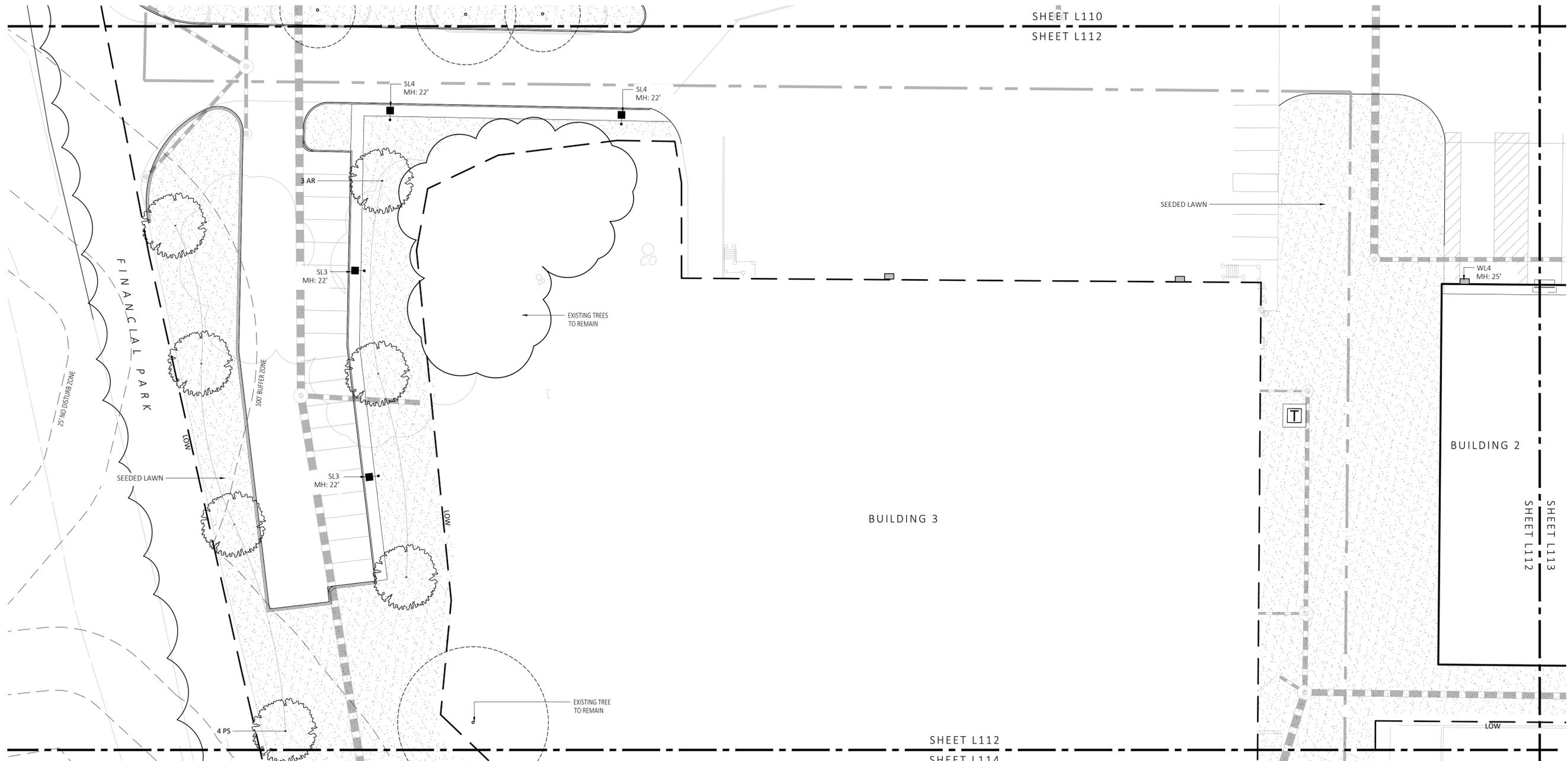
SYMBOL	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES
<b>TREES</b>					
AR	24	ACER RUBRUM	RED MAPLE	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
BP	10	BETULA POPULIFOLIA	GRAY BIRCH	3"-3.5" CAL.	B&B, MULTI-STEM
CC	5	CERCIS CANADENSIS	REDBUD	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
PS	10	PINUS STROBUS	EASTERN WHITE PINE	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
PSC	17	PRUNUS SEROTINA	BLACK CHERRY	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
PH	16	PLATANUS HYBRIDA	LONDON PLANE TREE	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
TA	16	TILIA AMERICANA	BASSWOOD	3"-3.5" CAL.	B&B, 6' CLEAR BRANCHING
<b>SHRUBS &amp; ORNAMENTAL GRASSES - TYPE A</b>					
		CLETHRA ALNIFOLIA	PEPPERBUSH	5 GAL	36" O.C. B&B
		HYDRANGEA QUERCIFOLIA	OAK-LEAVED HYDRANGEA	3'-3.5" TALL	36" O.C. B&B
		ILEX GLABRA	INKBERRY	3'-3.5" TALL	36" O.C. B&B
		ILEX VERTICILLATA	COMMON WINTERBERRY	3'-3.5" TALL	36" O.C. B&B
		KALMIA LATIFOLIA	MOUNTAIN LAUREL	3' TALL	36" O.C. B&B
		RHUS AROMATICA	FRAGRANT SUMAC	3'-3.5" TALL	36" O.C. B&B
		VIBURNUM DENTATUM	ARROWWOOD	3'-3.5" TALL	36" O.C. B&B
<b>SHRUBS &amp; ORNAMENTAL GRASSES - TYPE B</b>					
		COMPTONIA PEREGRINA	SWEET-FERN	2 GAL	24" O.C. CONTAINER
		IRIS VERSICOLOR	BLUE FLAG IRIS	2 GAL	24" O.C. CONTAINER
		PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	2.5'-3" TALL	24" O.C. B&B
<b>PERENNIALS</b>					
		CAREX PENNSYLVANICA	PENNSYLVANIA SEDGE	1 GAL	18" O.C. CONTAINER
		ECHINACEA PURPUREA	PURPLE CONEFLOWER	1 GAL	18" O.C. CONTAINER
		GERANIUM DALMATIICUM	CRANESBILL	1 GAL	18" O.C. CONTAINER
<b>SEED MIX</b>					
		ERNST SEEDS 800-873-3321	ERNST MIX (ERNMX-181-1 & 181-2) NATIVE STEEP SLOPE MIX	75 LB/ACRE	APPLY COVER CROP; FALL: GRAIN RYE, SPRING: OAT; SEE SPEC SHEET
		ERNST SEEDS 800-873-3321	ERNST MIX (ERNMX-180) RAIN GARDEN MIX	20 LB/ACRE	APPLY COVER CROP OF GRAIN RYE; SEE SPEC SHEET

ALL PROPOSED PLANTINGS COME FROM THE BEST DEVELOPMENT PRACTICES GUIDEBOOK (\$185-31.C.K)

FOR PERMIT ONLY  
NOT FOR CONSTRUCTION

SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
○	BL1	ARCLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	
■ SL3	SL3	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-3-U BEACON SSS-8 POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■ SL4	SL4	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-8 POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
■ SL4-2	SL4-2	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-8 POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
□ WL1	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
□ WL2	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
--- WL3	WL3	DL-ES-15-D-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.



**MDLA**  
MICHAEL D'ANGELO landscape architecture

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WAREHOUSE / INDUSTRIAL DEV.  
100 / 200 FINANCIAL PARK  
FRANKLIN, MA



REV. NO.	DATE	DESCRIPTION
1	5/11/23	FOR PERMIT
2	7/17/23	RESPONSE TO COMMENTS
	8/10/23	

PLANTING & LIGHTING PLAN

DRAWN: NC  
CHECKED: AS NOTED  
SCALE: L112  
AS NOTED  
DATE: 5/11/2023

SHEET 13 OF 24

1 PLANTING & LIGHTING PLAN  
SCALE: 1" = 20'-0"



FOR PERMIT ONLY  
NOT FOR CONSTRUCTION

PLANT SCHEDULE					
SYMBOL	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES
<b>TREES</b>					
AR	24	ACER RUBRUM	RED MAPLE	3"-3.5" CAL	B&B, 6' CLEAR BRANCHING
BP	10	BETULA POPULIFOLIA	GRAY BIRCH	3"-3.5" CAL	B&B, MULTI-STEM
CC	5	CERCIS CANADENSIS	REDBUD	3"-3.5" CAL	B&B, 6' CLEAR BRANCHING
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PSC	17	PRUNUS SEROTINA	BLACK CHERRY	3"-3.5" CAL	B&B, 6' CLEAR BRANCHING
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		ILEX VERTICILLATA	COMMON WINTERBERRY	3"-3.5" TALL	36" O.C. B&B
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		VIBURNUM DENTATUM	ARROWWOOD	3"-3.5" TALL	36" O.C. B&B
<b>SHRUBS &amp; ORNAMENTAL GRASSES - TYPE B</b>					
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		IRIS VERSICOLOR	BLUE FLAG IRIS	2 GAL	24" O.C. CONTAINER
		PEROVSKIA TRIPLICIFOLIA	RUSSIAN SAGE	2.5'-3" TALL	24" O.C. B&B
<b>PERENNIALS</b>					
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		ECHINACEA PURPUREA	PURPLE CONEFLOWER	1 GAL	18" O.C. CONTAINER
		GERANIUM DALMATIUM	CRANESBILL	1 GAL	18" O.C. CONTAINER
<b>SEED MIX</b>					
		ERNST SEEDS 800-873-3321	ERNST MIX (ERNMX-181-1 & 181-2) NATIVE STEEP SLOPE MIX	75 LB/ACRE	APPLY COVER CROP; FALL: GRAIN RYE, SPRING: OAT; SEE SPEC SHEET
		ERNST SEEDS 800-873-3321	ERNST MIX (ERNMX-180) RAIN GARDEN MIX	20 LB/ACRE	APPLY COVER CROP OF GRAIN RYE; SEE SPEC SHEET

ALL PROPOSED PLANTINGS COME FROM THE BEST DEVELOPMENT PRACTICES GUIDEBOOK (§185-31.C.(K))

LIGHT SCHEDULE						
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
○	BL1	ARLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	
■	SL3	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-3-U BEACON S5S-B POLE S5S-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
■	SL4	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-4W-U BEACON S5S-B POLE S5S-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4-2	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-4W-U BEACON S5S-B POLE S5S-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
■	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
■	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
---	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

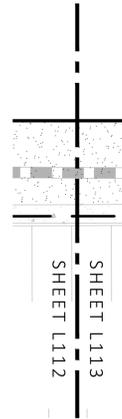
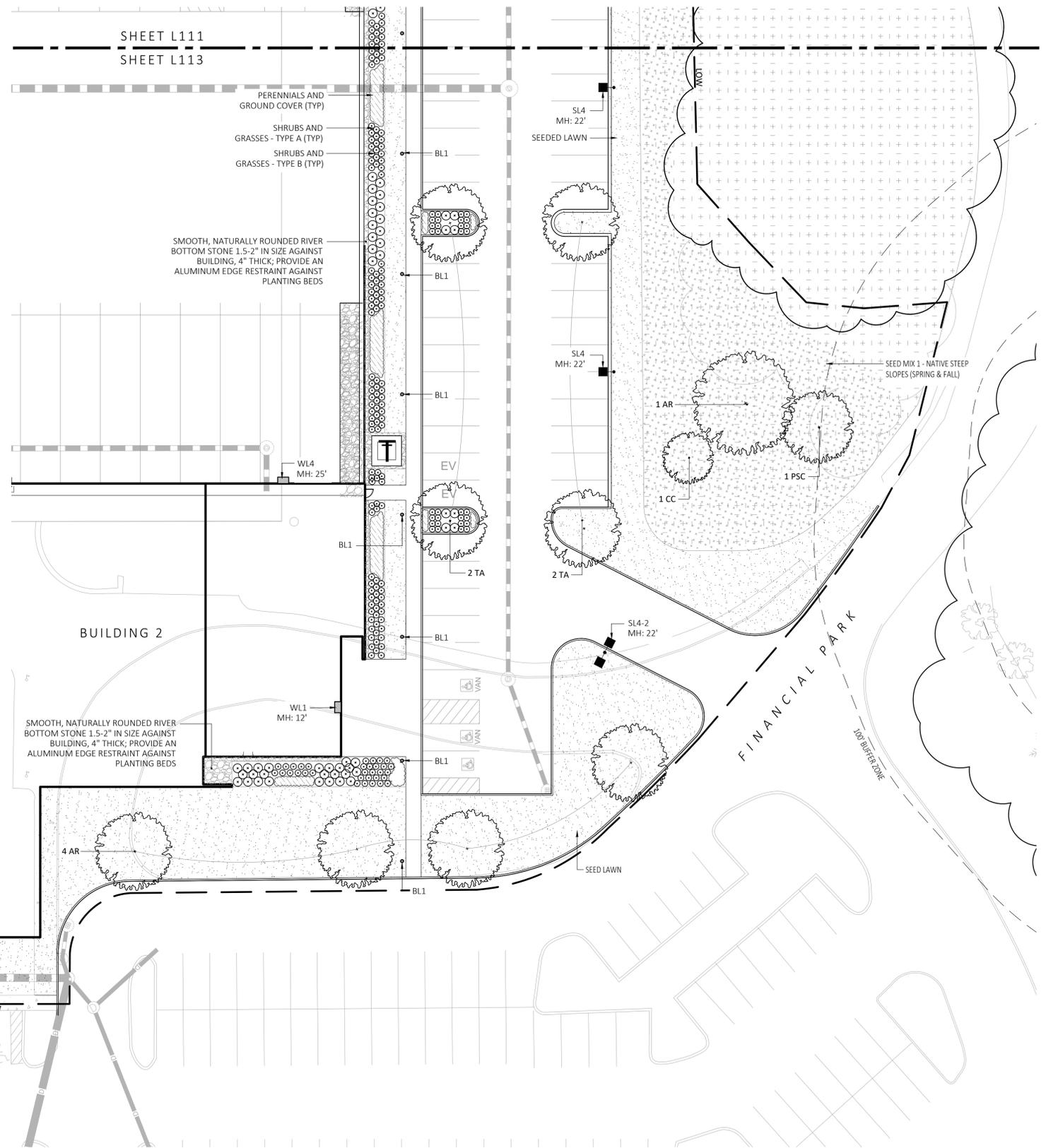
SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.

GENERAL IRRIGATION NOTES:

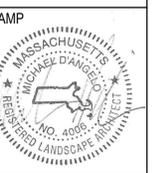
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- IRRIGATION TO BE COORDINATED WITH GENERAL CONTRACTOR TO LOCATE THE NECESSARY PVC SLEEVING TO COMPLETE IRRIGATION PROGRAM.
- IRRIGATION CONTRACTOR SHALL VERIFY PSI/GPM REQUIREMENTS AT THE SITE BEFORE STARTING CONSTRUCTION.
- TREES SHOULD BE ON A SEPARATE ZONE.
- ALL TREES, SHRUBS, PERENNIALS, ORNAMENTAL GRASSES, AND GROUND COVER SHALL BE DRIP IRRIGATED. CONTRACTOR SHALL BE AWARE THAT THE IRRIGATION SYSTEM SHALL BE ROUTED TO THE PYLON SIGN PLANTER AND PLANTERS AT THE BUILDING.
- ALL LAWN AREAS SHALL BE SPRAY HEAD IRRIGATED. THE HEADS SHALL BE LOCATED FOR HEAD TO HEAD COVERAGE WITH ABSOLUTELY NO OVER SPRAY ONTO THE PAVEMENT.
- INSTALL DRIP TUBING, .6GPH, 12" CENTERS, STAKED EVERY TURN OR EVERY 4'
- THE CONTRACTOR SHALL BE EXTREMELY CAREFUL DURING THE INSTALLATION PROCESS NOT TO DISTURB NEW OR EXISTING PLANT MATERIALS. THE CONTRACTOR IS TO COORDINATE HIS WORK WITH OTHER SUB-CONTRACTORS.
- THE IRRIGATION CONTRACTOR SHALL CONFORM TO ANY LOCAL CODES OR ORDINANCES THAT MAY BE REQUIRED TO COMPLETE THE WORK.
- WATER SUPPLY AND CONTROLLER: COORDINATE CONNECTION TO WATER SUPPLY WITH GENERAL CONTRACTOR. COORDINATE CONTROLLER LOCATION WITH GENERAL CONTRACTOR.
- MEP CONTRACTOR TO PROVIDE BACK FLOW PREVENTION.
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- INSTALLER SHALL INSTALL MOISTURE SENSORS. CONTRACTOR SHALL INSTALL PER MANUFACTURERS'S SPECIFICATIONS AND SHALL BE RESPONSIBLE TO PROGRAM RELATED HYDROZONES TO RESPECTIVE SOIL MOISTURE SENSORS. PROVIDE ONE FOR EACH IRRIGATION ZONE WITH AUTOMATIC SHUT-OFF ONCE MOISTURE REQUIREMENTS ARE MET.

PLANTING:

- DURING CONSTRUCTION, PROTECT ALL EXISTING SITE FEATURES, STRUCTURES AND UTILITIES.
- PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. SUBSTITUTIONS WILL BE PERMITTED ONLY IF APPROVED BY THE LANDSCAPE ARCHITECT.
- LANDSCAPE ARCHITECT APPROVAL IS REQUIRED BEFORE PLANT MATERIAL IS PURCHASED. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO SEE ALL MATERIAL IN PERSON AT THE NURSERY. IF TRAVEL OUTSIDE OF MA IS REQUIRED, LANDSCAPE ARCHITECT'S TRAVEL COSTS SHALL BE PAID FOR BY THE CONTRACTOR.
- ALL EXPOSED BURLAP, WIRE BASKETS AND OTHER MATERIALS ATTACHED TO PLANTS SHALL BE REMOVED PRIOR TO PLANTING. CARE SHALL BE TAKEN NOT TO DISTURB THE ROOT BALL OF PLANTS.
- THOROUGHLY WATER ALL PLANTS IMMEDIATELY AFTER PLANTING.
- WHERE DISCREPANCIES IN QUANTITIES OCCUR, DRAWINGS SUPERCEDE PLANT NOTES AND SCHEDULE.
- TRANSPLANTING SHALL BE DONE IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK.
- LOAM USED IN PLANT BEDS SHALL BE UNIFORM IN COMPOSITION, FREE FROM SUBSOIL, STONES LARGER THAN 1", NOXIOUS SEEDS AND SUITABLE FOR THE SUPPORT OF VEGETATIVE GROWTH. THE PH VALUE SHALL BE BETWEEN 5.5 AND 6.5.
- MULCH IN TREE AND SHRUB BEDS SHALL BE NATURAL, NATIVE HEMLOCK MULCH FREE OF GROWTH OR GERMINATION INHIBITING INGREDIENTS. SUBMIT SAMPLES FOR APPROVAL.
- LOCATIONS FOR PLANTS AND/OR OUTLINE OF AREAS TO BE PLANTED ARE TO BE STAKED OUT AT THE SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
- SOIL DEPTHS: a.) SHRUBS AND PERENNIAL BEDS: 18" MIN.; b.) GROUND COVER: 6" MIN.; c.) TREES: SEE DETAIL; d.) SOD/SEED: 6" MIN.
- PROVIDE A SUBSURFACE ROOTBALL ANCHOR BY PLATIPUS EARTH ANCHORS, SIZE FOR CALIPER



1 PLANTING & LIGHTING PLAN  
SCALE: 1" = 20'-0"



REV. NO.	DATE	DESCRIPTION
1	5/11/23	FOR PERMIT
2	7/17/23	RESPONSE TO COMMENTS
3	8/10/23	

PLANTING & LIGHTING PLAN

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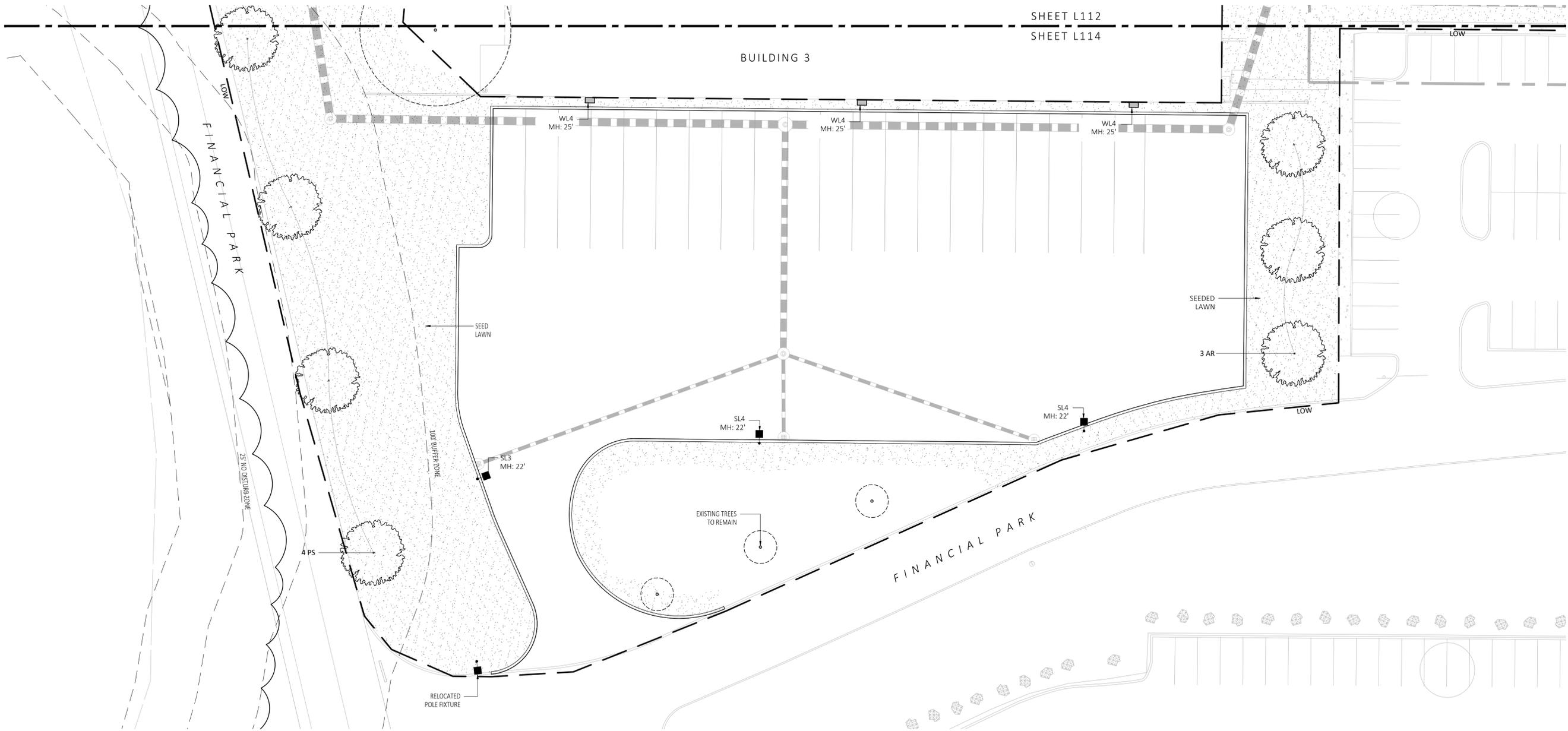
PLANT SCHEDULE					
SYMBOL	QTY.	LATIN NAME	COMMON NAME	SIZE	NOTES
<b>TREES</b>					
AR	24	ACER RUBRUM	RED MAPLE	3"-3.5" CAL	B&B, 6' CLEAR BRANCHING
BP	10	BETULA POPULIFOLIA	GRAY BIRCH	3"-3.5" CAL	B&B, MULTI-STEM
CC	5	CERCIS CANADENSIS	REDBUD	3"-3.5" CAL	B&B, 6' CLEAR BRANCHING
PS	10	PINUS STROBUS	EASTERN WHITE PINE	3"-3.5" CAL	B&B, 6' CLEAR BRANCHING
PSC	17	PRUNUS SEROTINA	BLACK CHERRY	3"-3.5" CAL	B&B, 6' CLEAR BRANCHING
PH	16	PLATANUS HYBRIDA	LONDON PLANE TREE	3"-3.5" CAL	B&B, 6' CLEAR BRANCHING
TA	16	TILIA AMERICANA	BASSWOOD	3"-3.5" CAL	B&B, 6' CLEAR BRANCHING
<b>SHRUBS &amp; ORNAMENTAL GRASSES - TYPE A</b>					
		CLETHRA ALNIFOLIA	PEPPERBUSH	5 GAL	36" O.C. B&B
		HYDRANGEA QUERCIFOLIA	OAK-LEAVED HYDRANGEA	3"-3.5" TALL	36" O.C. B&B
		ILEX GLABRA	INKBERRY	3"-3.5" TALL	36" O.C. B&B
		ILEX VERTICILLATA	COMMON WINTERBERRY	3"-3.5" TALL	36" O.C. B&B
		KALMIA LATIFOLIA	MOUNTAIN LAUREL	3" TALL	36" O.C. B&B
		RHUS AROMATICA	FRAGRANT SUMAC	3"-3.5" TALL	36" O.C. B&B
		VIBURNUM DENTATUM	ARROWWOOD	3"-3.5" TALL	36" O.C. B&B
<b>SHRUBS &amp; ORNAMENTAL GRASSES - TYPE B</b>					
		COMPTONIA PEREGRINA	SWEET-FERN	2 GAL	24" O.C. CONTAINER
		IRIS VERSICOLOR	BLUE FLAG IRIS	2 GAL	24" O.C. CONTAINER
		PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	2.5'-3' TALL	24" O.C. B&B
<b>PERENNIALS</b>					
		CAREX PENNSYLVANICA	PENNSYLVANIA SEDGE	1 GAL	18" O.C. CONTAINER
		ECHINACEA PURPUREA	PURPLE CONEFLOWER	1 GAL	18" O.C. CONTAINER
		GERANIUM DALMATIUM	CRANESBILL	1 GAL	18" O.C. CONTAINER
<b>SEED MIX</b>					
		ERNST SEEDS 800-873-3321	ERNST MIX (ERNMX-181-1 & 181-2) NATIVE STEEP SLOPE MIX	75 LB/ACRE	APPLY COVER CROP: FALL: GRAIN RYE, SPRING: OAT; SEE SPEC SHEET
		ERNST SEEDS 800-873-3321	ERNST MIX (ERNMX-180) RAIN GARDEN MIX	20 LB/ACRE	APPLY COVER CROP OF GRAIN RYE; SEE SPEC SHEET

ALL PROPOSED PLANTINGS COME FROM THE BEST DEVELOPMENT PRACTICES GUIDEBOOK (\$185-31.C.(X))

FOR PERMIT ONLY  
NOT FOR CONSTRUCTION

LIGHT SCHEDULE						
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
○	BL1	ARCLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	
■	SL3	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-3-U BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
■	SL4-2	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
□	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
□	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
---	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.



1 PLANTING & LIGHTING PLAN  
SCALE: 1" = 20'-0"



**MDLA**  
MICHAEL D'ANGELO landscape architecture

MICHAEL D'ANGELO  
LANDSCAPE ARCHITECTURE LLC  
840 SUMMER STREET  
SUITE 203A  
BOSTON, MA 02127  
1.203.592.4788  
www.m-d-a.com

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BERKELEY PARTNERS  
1 WASHINGTON MALL, SUITE 701  
BOSTON, MA

PROJECT  
WAREHOUSE / INDUSTRIAL DEV.  
100 / 200 FINANCIAL PARK  
FRANKLIN, MA



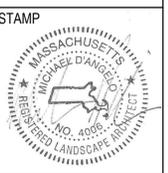
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PLANTING & LIGHTING PLAN

DRAWN:  
NC  
CHECKED:  
AS NOTED  
SCALE:  
AS NOTED  
DATE:  
5/11/2023

**L114**

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PLANTING SCHEDULE & DETAILS

DRAWN:	NC
CHECKED:	AS NOTED
SCALE:	L115
AS NOTED:	
DATE:	5/11/2023

**Ernst Conservation Seeds**  
8884 Mercer Pike  
Meadville, PA 16335  
(800) 873-3321 Fax (814) 336-5191  
www.ernstseed.com

*Spring*

Date: August 28, 2018

**Native Steep Slope Mix w/Grain Oats - ERNMX-181-1**

Botanical Name	Common Name	Price/lb
40.00 % <i>Avena sativa</i> , Variety Not Stated	Oats, Variety Not Stated	0.22
20.40 % <i>Sorghastrum nutans</i> , NY Ecotype	Indiangrass, NY Ecotype	12.90
8.10 % <i>Andropogon gerardii</i> , 'Niagara'	Big Bluestem, 'Niagara'	13.06
7.20 % <i>Elymus virginicus</i> , PA Ecotype	Virginia Wildrye, PA Ecotype	7.72
5.20 % <i>Elymus canadensis</i>	Canada Wildrye	12.87
4.50 % <i>Schizanthus scoparius</i> , Fort Indiantown Gap-PA Ecotype	Purpletop, Fort Indiantown Gap-PA Ecotype	12.00
3.70 % <i>Tridens flavus</i> , Fort Indiantown Gap-PA Ecotype	Tridens Flava, Fort Indiantown Gap-PA Ecotype	18.78
3.00 % <i>Agraria perennis</i> , Albany Pine Bush-NY Ecotype	Autumn Bergamoss, Albany Pine Bush-NY Ecotype	14.00
2.30 % <i>Panicum virgatum</i> , 'Shawnee'	Switchgrass, 'Shawnee'	7.51
1.10 % <i>Chamaecrista fasciculata</i> , PA Ecotype	Partridge Pea, PA Ecotype	10.00
1.00 % <i>Echinacea purpurea</i>	Purple Coneflower	36.00
0.80 % <i>Gallardia aridata</i>	Perennial Gallardia (Blanketflower)	32.00
0.80 % <i>Audubonia hirta</i>	Black-eyed Susan	20.00
0.70 % <i>Helopsis helianthoides</i> , PA Ecotype	Cheery Sunflower, PA Ecotype	42.00
0.40 % <i>Aster novae-angliae</i> , PA Ecotype	New England Aster, PA Ecotype	360.00
0.20 % <i>Asclepias syriaca</i> , PA Ecotype	Common Milkweed, PA Ecotype	196.00
0.20 % <i>Liatris spicata</i>	Marsh (Dense) Blazing Star (Spiked Gayfeather)	210.00
0.10 % <i>Penstemon digitalis</i>	Tall White Beeblossom	160.00

**100.00 % Mix Price/lb Bulk: \$10.45**

Seeding Rate: 75 lb per acre  
Erosion Control & Revegetation

Use this formula with grain oats as a cover crop in the spring and summer (until September 1st). Mix formulations are subject to change without notice depending on the availability of existing and new products. While the formula may change, the guiding philosophy and function of the mix will not.

Price quotes guaranteed for 30 days.  
All prices are FOB Meadville, PA.  
Please check our web site at [www.ernstseed.com](http://www.ernstseed.com)  
for current pricing when placing orders.

1 SEED MIX 1 - NATIVE STEEP SLOPES (SPRING)  
SCALE: N.T.S.

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*Fall*

Date: August 28, 2018

**Native Steep Slope Mix w/Grain Rye - ERNMX-181-2**

Botanical Name	Common Name	Price/lb
40.00 % <i>Scaevola coccinea</i> , Variety Not Stated	Grain Rye, Variety Not Stated	0.21
20.40 % <i>Sorghastrum nutans</i> , PA Ecotype	Indiangrass, PA Ecotype	10.60
8.10 % <i>Andropogon gerardii</i> , 'Niagara'	Big Bluestem, 'Niagara'	13.06
7.20 % <i>Elymus virginicus</i> , PA Ecotype	Virginia Wildrye, PA Ecotype	7.72
5.20 % <i>Elymus canadensis</i>	Canada Wildrye	12.87
4.50 % <i>Schizanthus scoparius</i> , 'Camper'	Little Bluestem, 'Camper'	12.59
3.70 % <i>Tridens flavus</i>	Purpletop	18.56
3.00 % <i>Agraria perennis</i> , Albany Pine Bush-NY Ecotype	Autumn Bergamoss, Albany Pine Bush-NY Ecotype	14.00
2.30 % <i>Panicum virgatum</i> , 'Shawnee'	Switchgrass, 'Shawnee'	7.51
1.10 % <i>Chamaecrista fasciculata</i> , PA Ecotype	Partridge Pea, PA Ecotype	10.00
1.00 % <i>Echinacea purpurea</i>	Purple Coneflower	36.00
0.80 % <i>Gallardia aridata</i>	Perennial Gallardia (Blanketflower)	32.00
0.80 % <i>Audubonia hirta</i>	Black-eyed Susan	20.00
0.70 % <i>Helopsis helianthoides</i> , PA Ecotype	Cheery Sunflower, PA Ecotype	42.00
0.40 % <i>Aster lateriflorus</i>	Calico Aster	300.00
0.20 % <i>Liatris spicata</i>	Marsh (Dense) Blazing Star (Spiked Gayfeather)	210.00
0.20 % <i>Asclepias syriaca</i> , PA Ecotype	Common Milkweed, PA Ecotype	196.00

**100.00 % Mix Price/lb Bulk: \$9.88**

Seeding Rate: 75 lb per acre  
Erosion Control & Revegetation

Use this formula with grain rye as a cover crop (from August 1st-February 15th). Mix formulations are subject to change without notice depending on the availability of existing and new products. While the formula may change, the guiding philosophy and function of the mix will not.

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for current pricing when placing orders.

2 SEED MIX 1 - NATIVE STEEP SLOPES (FALL)  
SCALE: N.T.S.

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www.ernstseed.com

Date: August 28, 2018

**Rain Garden Mix - ERNMX-180**

Botanical Name	Common Name	Price/lb
31.50 % <i>Schizanthus scoparius</i> , Albany Pine Bush-NY Ecotype	Little Bluestem, Albany Pine Bush-NY Ecotype	12.02
20.00 % <i>Elymus virginicus</i> , PA Ecotype	Virginia Wildrye, PA Ecotype	7.72
10.00 % <i>Carex vulpinoidea</i> , PA Ecotype	Fox Sedge, PA Ecotype	24.00
10.00 % <i>Panicum virgatum</i> , Coastal Plain NC Ecotype	Redtop/Panicgrass, Coastal Plain NC Ecotype	48.00
5.00 % <i>Echinacea purpurea</i>	Purple Coneflower	36.00
3.00 % <i>Chamaecrista fasciculata</i>	Lanceleaf Coneopsis	24.00
2.00 % <i>Audubonia hirta</i>	Black-eyed Susan	20.00
2.00 % <i>Carex scoparia</i> , PA Ecotype	Blunt Broom Sedge, PA Ecotype	72.00
2.00 % <i>Chamaecrista fasciculata</i> , PA Ecotype	Partridge Pea, PA Ecotype	10.00
2.00 % <i>Eupatorium coelestinum</i> , PA Ecotype	Millflower, VA Ecotype	128.00
2.00 % <i>Helopsis helianthoides</i> , PA Ecotype	Cheery Sunflower, PA Ecotype	42.00
2.00 % <i>Pennisetum digitatum</i> , PA Ecotype	Tall White Beardgrass, PA Ecotype	160.00
1.00 % <i>Asclepias incarnata</i> , PA Ecotype	Swamp Milkweed, PA Ecotype	160.00
1.00 % <i>Juncus effusus</i>	Soft Rush	40.00
1.00 % <i>Juncus tenuis</i> , PA Ecotype	Pink Rush, PA Ecotype	60.00
1.00 % <i>Liatris spicata</i>	Marsh (Dense) Blazing Star (Spiked Gayfeather)	210.00
0.80 % <i>Aster novae-angliae</i> , PA Ecotype	New England Aster, PA Ecotype	360.00
0.70 % <i>Aster lateriflorus</i>	Calico Aster, PA Ecotype	300.00
0.50 % <i>Serratula heptaceras</i> , VA & WV Ecotype	Orange Coneflower, Northern VA Ecotype	300.00
0.40 % <i>Mnarda flexilis</i> , Fort Indiantown Gap-PA Ecotype	Wild Senna, VA & WV Ecotype	24.00
0.30 % <i>Psycarthrum tenuifolium</i>	Wild Bergamoss, Fort Indiantown Gap-PA Ecotype	160.00
0.30 % <i>Solidago juncea</i> , PA Ecotype	Narrowleaf Mountainmint	140.00
	Early Goldenrod, PA Ecotype	280.00

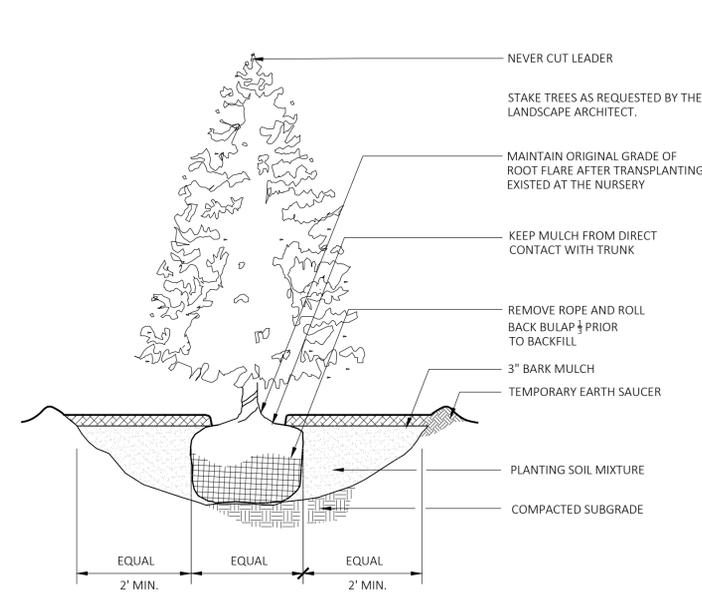
**100.00 % Mix Price/lb Bulk: \$37.29**

Seeding Rate: 20 lb per acre with a cover crop of grain rye at 30 lb per acre  
Uplands & Meadows

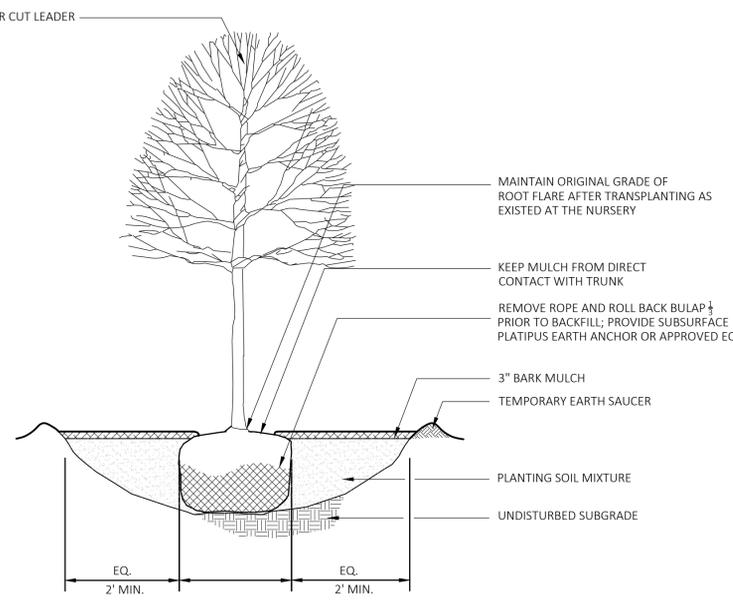
The native perennial forbs and grasses provide food and cover for rain garden biodiversity. Mix formulations are subject to change without notice depending on the availability of existing and new products. While the formula may change, the guiding philosophy and function of the mix will not.

Price quotes guaranteed for 30 days.  
All prices are FOB Meadville, PA.  
Please check our web site at [www.ernstseed.com](http://www.ernstseed.com)  
for current pricing when placing orders.

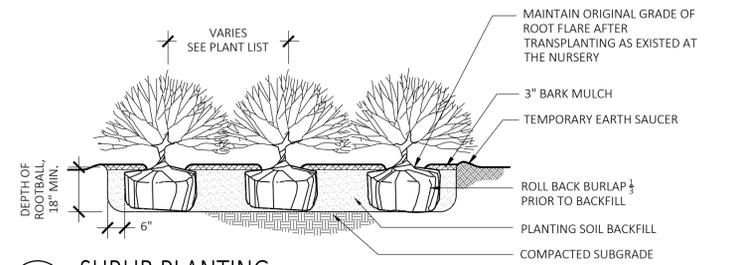
3 SEED MIX 2 - RAIN GARDEN MIX  
SCALE: N.T.S.



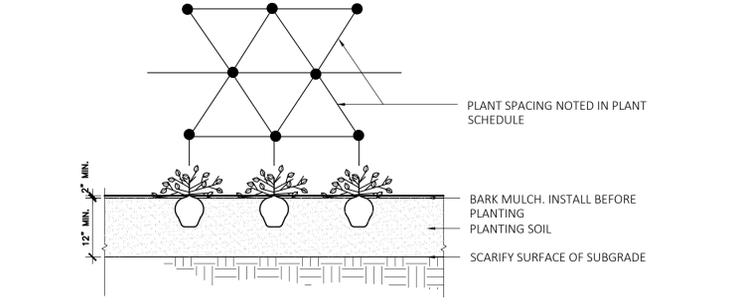
4 EVERGREEN TREE PLANTING  
SCALE: N.T.S.



5 DECIDUOUS TREE PLANTING  
SCALE: N.T.S.



6 SHRUB PLANTING  
SCALE: N.T.S.



7 GROUNDCOVER PLANTING  
SCALE: N.T.S.

Bollard lights		Generated on: 03-22-2023 7:54 pm		<b>Arcluce</b>	
Project					
TYPE					
Catalog#					
NOTES					

### KLOU180 large

Arcluce Code: **SL-KL0203US-12S** Installation instructions IES photometry  
Code Ref: **087100D-830-12US**

**TECHNICAL INFORMATION**

**Light source:** LED, 3000K, CRB-80  
**Light efficiency:** 73lm/W  
**Power luminaire:** 39W, 1400lm  
**LED life time:** > 60000h - L80 - B20 (T=25°C)  
**High colour consistency:** < 3 SDCM  
**Wiring:** 120-277V 60Hz DIMM  
**Optics:** radial  
**Color:** Black - 12  
**Height:** 24.0" ± 0.1  
**Size:** A: 8" 7" 14  
B: 3" 3" 3"

**Construction**

- Die-cast aluminum body (EN 47100)
- Extruded aluminum pole
- Double layer polyester powder paint resistant to corrosion and self-spraying fog
- Silicone rubber gaskets
- ANSI 316 stainless steel external screws

**Electrical & Optics**

- Universal input voltage: 120-277V 50/60Hz
- 0-10V dimming available
- Wiring on removable galvanneal steel tray
- High-efficiency LEDs with standard 3000K, 4000K (2700K or other CCTs available on request)
- Reflector made of anodized aluminum with non-reflective specular finishing
- UV UVV stabilized, 850° glow wire test resistant, V2 self-extinguishing clear polycarbonate screen

**Listings**

- UL certified to U.S. and Canadian standards, suitable for wet locations (UL wet mark)
- Suitable for mounting within 1.2 m (4 ft) of ground
- Rated IP66 per EN60598
- Luminaire rated for 40°C minimum ambient temperature on selected model variants
- High quality LED sources characterized according to IES TM-30, with high color consistency <3SDCM and long useful life (50000 hours at L80)

**Installation**

- Surface installation
- Die-cast aluminum base (EN 47100) for anchoring with rebar/plate
- Supplied with steel base plate and shaped anchor bolts
- Available on request: anodized steel pillar for reinforced anchoring
- Supplied with power cord (18AWG conductors)

IP66

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215 F

**KEY DATA**

Lumen Range	1300 - 48500
Wattage Range	25 - 340
Efficacy Range (lm/W)	18 - 155
Fixture Projected Life (Hours)	170-60K
Weights lbs. (kg)	13.5 - 24 (6.1 - 10.9)

Arcluce North America Inc. 333 Bush Street - San Francisco, CA 94104 - Ph: +1 (408) 856-6275 - export@arcluce.it arcluce-us.com See accessories in the next page

1 **BL1**  
SCALE: N.T.S.

2 **SL3, SL4, SL4-2 FIXTURE**  
SCALE: N.T.S.

**DURA LAMP**  
a brand of TARGETT

**KEY FEATURES**

- Energy efficient high-milow output narrow spaced essential white LED flexible linear light strip for continuous constant color in linear applications
- Ideal for IP66 exterior case, under-counter/absent, lighting accents
- Complete with enclosed silicone jacket for outdoor rated IP66, tickle per foot
- Features 2-circuit substrate for optimum heat dissipation, minimizing voltage drop while increasing run lengths per power feed, standardizing electrical flow over entire length of the strip for maximum product reliability
- Features double sided solder joints for maximum conductivity and durability
- Pre-assembled to specific lengths with various connector options for project requirements and efficient power configuration
- Max continuous length:
  - up to 30' per run (1.5W/ft)
  - up to 22' per run (3.0W/ft)
  - up to 19' per run (4.5W/ft)
  - up to 16' per run (6.0W/ft)
- Multiple dimming options available

**DIMENSIONAL DRAWINGS**

**DESIGN INSTALLATION EXAMPLES**

IP66

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**DURATAPE™ ES**  
IP66 OUTDOOR

**QUICK SHIP** JAB MR IP66 IK09 WOHNS UL Class 2

**DETAILS**

**Spacing:** 0.33" OC LED Spacing  
36 LEDs per foot  
**Wattage:** 1.5W/ft / 3.0W/ft / 3.9W/ft / 4.6W/ft  
**Color Temp:** 2700K / 3000K / 3500K / 4000K  
**Color Consistency:** (bin centered on the Planck curve with a +/- 2 step MacAdam tolerance)

**CR:** JAB96  
**End Props:** Factory prepped wiring options (See Page 2)  
**Mounting:** Includes installation ready 3M tape adhesive for simplified installation directly to mounting channel or application surface. Optional mounting channels and clips, protective lens covers, thermal channels for optimal maintenance. Field terminable every 4'.

**Power Supply:** Listed Class 2 output, 24V DC power supply required.  
**Certifications:** (UL) Class 2 (UL Listed E47160) Tested in accordance with ILM 79-06 Energy efficient for California installations. \*CETC TM JAB-2019-C certified, 3.9W with DEL65PMM or DELX65Q4HC7MM drivers.

**Compliance:** RoHS compliant. MR Safe driver to be mounted outside of MR room. To be used with plastic or aluminum profiles only. To be installed with adhesive or MR safe hardware only, no factory provided mounting hardware to be used.

**Warranty:** 5 year warranty

**STRIP DATA**

Model	Intensity (lm/W)	Ln/Ft	W/Ft
1.5W/ft	60.00*	9.15	1.5
3.0W/ft	60.00*	2.9	3.0
3.9W/ft	60.00*	3.51	3.9
4.6W/ft	60.00*	4.2	4.4

\*Meets Title 24 High efficiency rating.

**LED DATA**

Model	Wattage	Viewing Angle	Viewing @ 90° dist.
1.5W/ft	0.04W	120°	60.00cd/m²
3.0W/ft	0.28W	120°	60.00cd/m²
3.9W/ft	0.30W	120°	50.00cd/m²
4.6W/ft	0.30W	120°	40.00cd/m²

\*LEDs operating at 50% of LED manufacturer's maximum current rating.

**TM30 (3.0W/ft model)**

CCT	R <sub>a</sub>	R <sub>9</sub>	R <sub>12</sub>	R <sub>19</sub>
2207K	96.5	95	94.2	103.4
2733K	97.7	95	95.1	101.7
302K	97.4	94	89.7	97.3
3507K	96.2	95	89.1	97.8
4026K	96.6	93	89.3	97.8

**POWER SUPPLY**

PRODUCT CODE	INTENSITY	WATTAGE	IP RATING	COLOR TEMP.	CHI	VOLTAGE	END PROP.	MOUNTING	POWER SUPPLY
DL - Duratape™	ES - Essential	1.5	15W/ft	27 - 2700K	HC -	+95 CR	24 - 24VDC		
	White	3.0	30W/ft						
		3.9	39W/ft						
		4.4	44W/ft						

**QUICK SHIP** (A88807M24-08 - 08/20/2024) (A88807M24-08 - 08/20/2024) (A88807M24-08 - 08/20/2024) (A88807M24-08 - 08/20/2024)

1. Lead time for quick ship follows a 12 week turn process (PO date). Consult factory for quantities over 1000 for confirm lead time.

5 **WL3**  
SCALE: N.T.S.

**BEACON**  
RATIO Series  
AREA/SITE LIGHTER

**FEATURES**

- Low profile LED available luminaire with a variety of IES distributions for lighting applications such as retail, commercial and campus parking lots
- Featuring Micro Strike Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues
- Visual comfort standard
- Compact and lightweight design with low EPIA
- 3G rated for high vibration applications including bridges and overpasses
- Control options including photo control, occupancy sensing, NX Distributed Intelligence™ and 2-Fin with networked controls
- Best in class surge protection available

**CONTROL TECHNOLOGY**

**NX LIGHTING CONTROLS**

**SPECIFICATIONS**

**CONSTRUCTION**

- Rectilinear form mimics the traditional speedway form factor keeping a simple but updated style and appearance, ideal for retrofit applications
- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with powder coat paint finish

**OPTICS**

- Entire optical aperture illuminates to create a large luminous surface area resulting in a low glare appearance without sacrificing optical performance
- 80, 90, 120 or 480 midpower LEDs
- 3000K, 4000K or 5000K (70 CR) CCT
- 2-mir optics at 0 degrees of tilt
- Field replaceable optics

**INSTALLATION**

- Standard square arm mount, compatible with B3184 pattern
- Optional universal mounting block for ease of install during retrofit applications. Available as an option or accessory for square and round poles.
- Kruecke arm fixer option available for 2.318" OD lumens. Max of 60 degrees with degree adjustable increments. (Restrictions apply for 7-mir option)
- NX Distributed Intelligence™ available with in fixture wireless control module. Features dimming and occupancy sensor.

IP66

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215 F

DATE: \_\_\_\_\_ LOCATION: \_\_\_\_\_  
TYPE: \_\_\_\_\_ PROJECT: \_\_\_\_\_  
CATALOG #: \_\_\_\_\_

**KEY DATA**

Lumen Range	1300 - 48500
Wattage Range	25 - 340
Efficacy Range (lm/W)	18 - 155
Fixture Projected Life (Hours)	170-60K
Weights lbs. (kg)	13.5 - 24 (6.1 - 10.9)

Current © currentlighting.com/beacon Page 1 of 8 Rev: 03/2023 BEA\_Ratio\_BA\_L\_2\_Sep\_201

**BEACON**  
SSS-B Series Poles  
SQUARE STRAIGHT STEEL

**APPLICATIONS**

- Lighting installations for side and top mounting of luminaires with effective projected area (EPA) not exceeding maximum allowable loading of the specified pole in its installed geographic location

**CONSTRUCTION**

- SHAFT: One-piece straight steel with square cross section, flat sides and minimum 0.23" radius on all corners; Minimum yield of 46,000 psi (ASTM A500, Grade B). Longitudinal weld seam to appear flush with shaft side wall. Steel base plate with wall bolt circle slots welded flush to pole shaft having minimum yield of 36,000 psi (ASTM A36)
- BASE COVER: Two-piece square aluminum base cover included standard
- POLE CAP: Pole shaft supplied with removable cover when applicable; Tenon and post-top configurations also available
- HAND HOLE: Rectangular 3/8" steel hand hole frame (2.38" x 4.38" opening). Mounting provisions for grounding lug located behind gasketed cover
- ANCHOR BOLTS: Four galvanized anchor bolts provided per pole with minimum yield of 55,000 psi (ASTM F1554). Galvanized hardware with two washers and two nuts per bolt for welding  
Anchor bolt part numbers: 3/4" x 3" x 3 - TAB-30-M38  
1 x 3/4" x 4 - TAB-36-M38

**FINISH**

- Durable thermoplastic powder coat paint finish with nominal 3.0 mil thickness
- Powder paint prime applied over "white metal" steel substrate cleaned via mechanical shot blast method
- Decorative finish coat available in multiple standard colors; Custom colors available; RAL number preferable

**WAREHOUSE STOCKED POLES:**

- SS300-404-HV-09-RDC, SS315-404-HV-09-RDC and SS330-508-4-HV-09-RDC
- The HV designation in the above catalog numbers is a combination drill pattern of the Current S2 pattern and the Beacon B3184 Viper pattern (rectangular arm mounting)

**ORDERING INFORMATION**

ORDERING EXAMPLE: **SSS-B - 25 - 40 - A/B/C - 2L - B3 - BLT - UL** Reference page 2 for available configurations

**KEY DATA**

Lumen Range	1300 - 48500
Wattage Range	25 - 340
Efficacy Range (lm/W)	18 - 155
Fixture Projected Life (Hours)	170-60K
Weights lbs. (kg)	13.5 - 24 (6.1 - 10.9)

IP66

IK09

CERTIFIED

215 F

DATE: \_\_\_\_\_ LOCATION: \_\_\_\_\_  
TYPE: \_\_\_\_\_ PROJECT: \_\_\_\_\_  
CATALOG #: \_\_\_\_\_

**KEY DATA**

Lumen Range	1300 - 48500
Wattage Range	25 - 340
Efficacy Range (lm/W)	18 - 155
Fixture Projected Life (Hours)	170-60K
Weights lbs. (kg)	13.5 - 24 (6.1 - 10.9)

Current © currentlighting.com/beacon Page 1 of 8 Rev: 05/2022 sss\_b\_post\_pole\_beacon\_001

**BEACON**  
RATIO Wall  
RW1/RWL2 LED WALL PACK

**FEATURES**

- Low profile LED wall luminaire with a variety of IES distributions for lighting applications such as retail, commercial and industrial building mount
- Featuring Micro Strike Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues
- Visual comfort standard
- Control options including photo control, occupancy sensing, NX Distributed Intelligence™, WISCAPE and 2-Fin with networked controls
- Battery Backup options available for emergency code compliance
- Quick-mount adapter allows easy installation/maintenance
- 347V and 480V versions for industrial applications and Canada

**CONTROL TECHNOLOGY**

**NX LIGHTING CONTROLS** **WISCAPE**

**SPECIFICATIONS**

**CONSTRUCTION**

- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with powder coat paint finish
- Powder paint finish provides durability in outdoor environments. Tested to meet 1000 hour salt spray rating

**OPTICS**

- Entire optical aperture illuminates to create a large luminous surface area resulting in a low glare appearance without sacrificing optical performance
- 48 or 90 midpower LEDs
- 3000K, 4000K or 5000K (70 CR) CCT
- Zero uplight distributions
- LED optics provide IES type I, II and IV distributions. Type IV available in RWL2 configurations

**INSTALLATION**

- Quick-mount adapter provides easy installation to wall or recessed junction boxes (if square junction box)
- Designed for direct box mount
- Integral back box contains 12" conduit hub
- Integral back box standard with Dual Driver Dual Power Feed, NX, WISCAPE and battery versions (battery version for RWL only)
- Integral Battery Backup provides emergency lighting for the required 90 minute path of egress
- Battery Backup suitable for connecting temperatures 25°C to 40°C. RWL1 battery is 12.5V RWL2 battery is 9.6V

IP66

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215 F

DATE: \_\_\_\_\_ LOCATION: \_\_\_\_\_  
TYPE: \_\_\_\_\_ PROJECT: \_\_\_\_\_  
CATALOG #: \_\_\_\_\_

**KEY DATA**

Lumen Range	1300 - 3900
Wattage Range	10 - 155
Efficacy Range (lm/W)	18 - 148
Weights lbs. (kg)	5.5/2.5 (2.5/1.1)

Current © currentlighting.com/beacon Page 1 of 7 Rev: 03/2023 Ratio\_Wall\_Driver\_001

**MDLA**  
MICHAEL D'ANGELO landscape architecture

MICHAEL D'ANGELO LANDSCAPE ARCHITECTURE LLC

840 SUMMER STREET  
SUITE 301A  
BOSTON, MA 02127  
1.203.592.4788  
www.m-d-a.com

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**CLIENT**  
BERKELEY PARTNERS  
1 WASHINGTON MALL, SUITE 701  
BOSTON, MA

**PROJECT**  
WAREHOUSE / INDUSTRIAL DEV.  
100 / 200 FINANCIAL PARK  
FRANKLIN, MA

**STAMP**

**REV. NO. DATE DESCRIPTION**

1	5/11/23	FOR PERMIT
1	7/17/23	RESPONSE TO COMMENTS
2	8/18/23	

**LIGHTING SCHEDULE & CUT SHEETS**

**DRAWN:** NC  
**CHECKED:** AS NOTED  
**SCALE:** L116  
**AS NOTED:** L116  
**DATE:** 5/11/2023

**SHEET 17 OF 24**

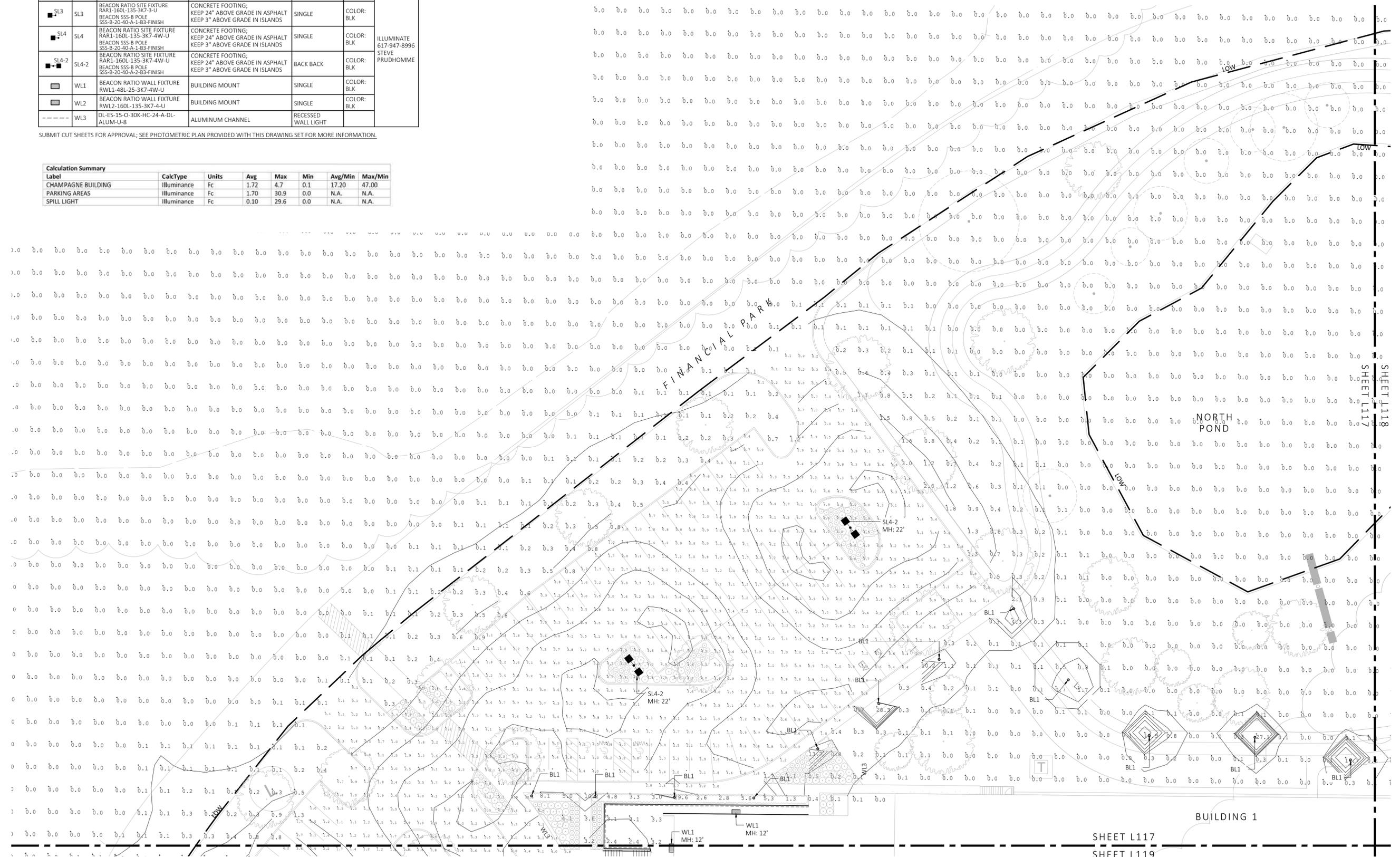
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NOT FOR CONSTRUCTION

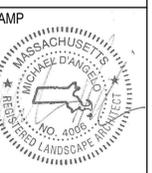
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
○	BL1	ARLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	
■	SL3	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-3-U BEACON 555-B POLE 555-B-20-40-A-189-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
■	SL4	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-4W-U BEACON 555-B POLE 555-B-20-40-A-189-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4-2	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-4W-U BEACON 555-B POLE 555-B-20-40-A-2-189-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
□	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
□	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
---	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CHAMPAGNE BUILDING	illuminance	Fc	1.72	4.7	0.1	17.20	47.00
PARKING AREAS	illuminance	Fc	1.70	30.9	0.0	N.A.	N.A.
SPILL LIGHT	illuminance	Fc	0.10	29.6	0.0	N.A.	N.A.



1 PHOTOMETRIC PLAN  
SCALE: 1" = 20'-0"



REV. NO.	DATE	DESCRIPTION
1	5/11/23	FOR PERMIT
2	7/17/23	RESPONSE TO COMMENTS
3	8/10/23	

PHOTOMETRIC PLAN

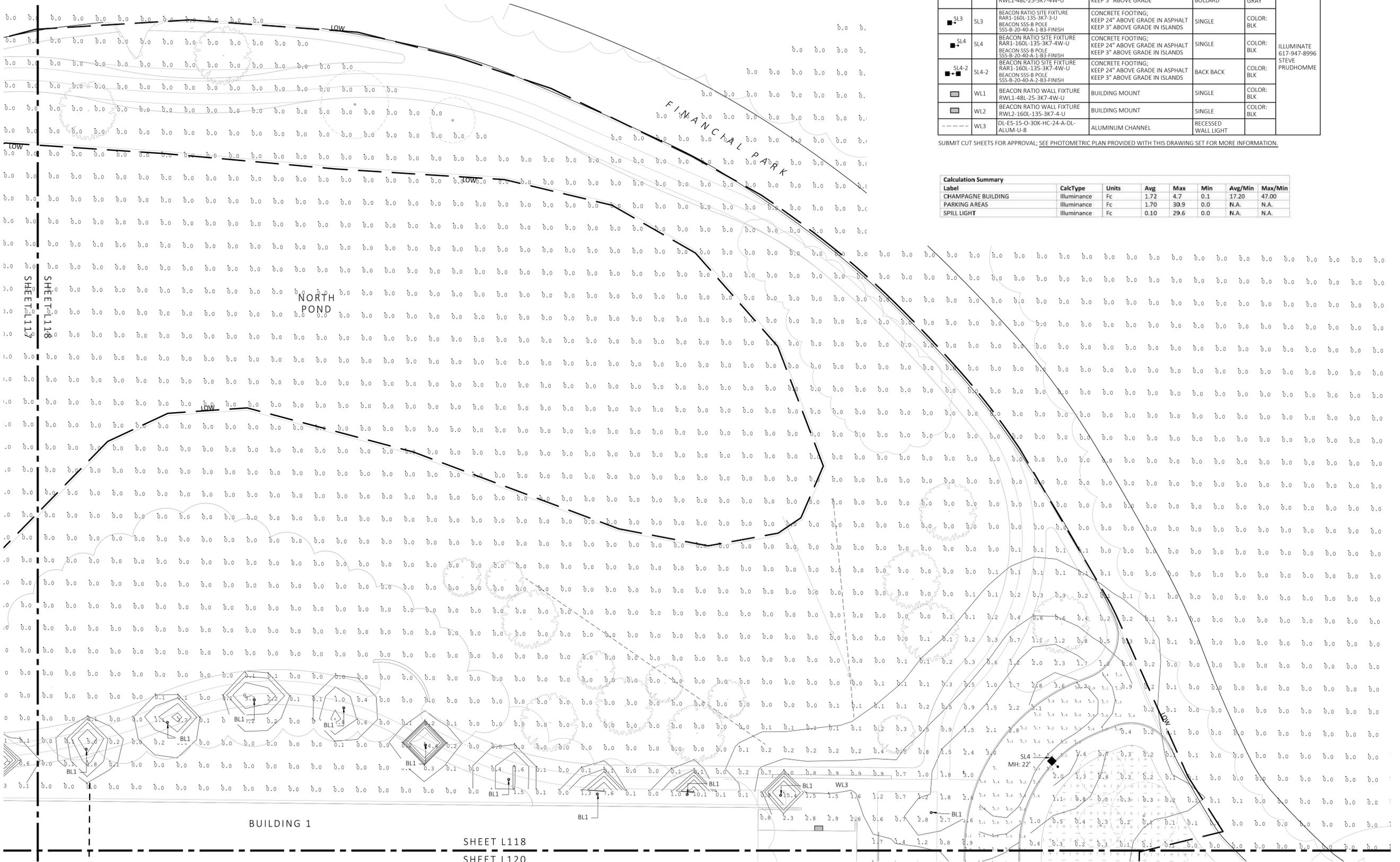
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CHECKED: AS NOTED  
SCALE: L117  
AS NOTED  
DATE: 5/11/2023

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NOT FOR CONSTRUCTION

LIGHT SCHEDULE						
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
○	BL1	ARCLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	
■	SL3	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-3-U BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
■	SL4	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4-2	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
□	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
□	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
---	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CHAMPAGNE BUILDING	illuminance	Fc	1.72	4.7	0.1	17.20	47.00
PARKING AREAS	illuminance	Fc	1.70	30.9	0.0	N.A.	N.A.
SPILL LIGHT	illuminance	Fc	0.10	29.6	0.0	N.A.	N.A.



1 PHOTOMETRIC PLAN  
SCALE: 1" = 20'-0"

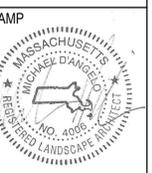


**MDLA**  
MICHAEL D'ANGELO  
LANDSCAPE ARCHITECTURE

MICHAEL D'ANGELO  
LANDSCAPE ARCHITECTURE LLC  
840 SUMMER STREET  
SUITE 201A  
BOSTON, MA 02127  
1.203.592.4788  
www.m-d-a.com

CLIENT  
BERKELEY PARTNERS  
1 WASHINGTON MALL, SUITE 701  
BOSTON, MA

PROJECT  
WAREHOUSE / INDUSTRIAL DEV.  
100 / 200 FINANCIAL PARK  
FRANKLIN, MA



REV. NO.	DATE	DESCRIPTION
	5/11/23	FOR PERMIT
1	7/17/23	RESPONSE TO COMMENTS
2	8/10/23	

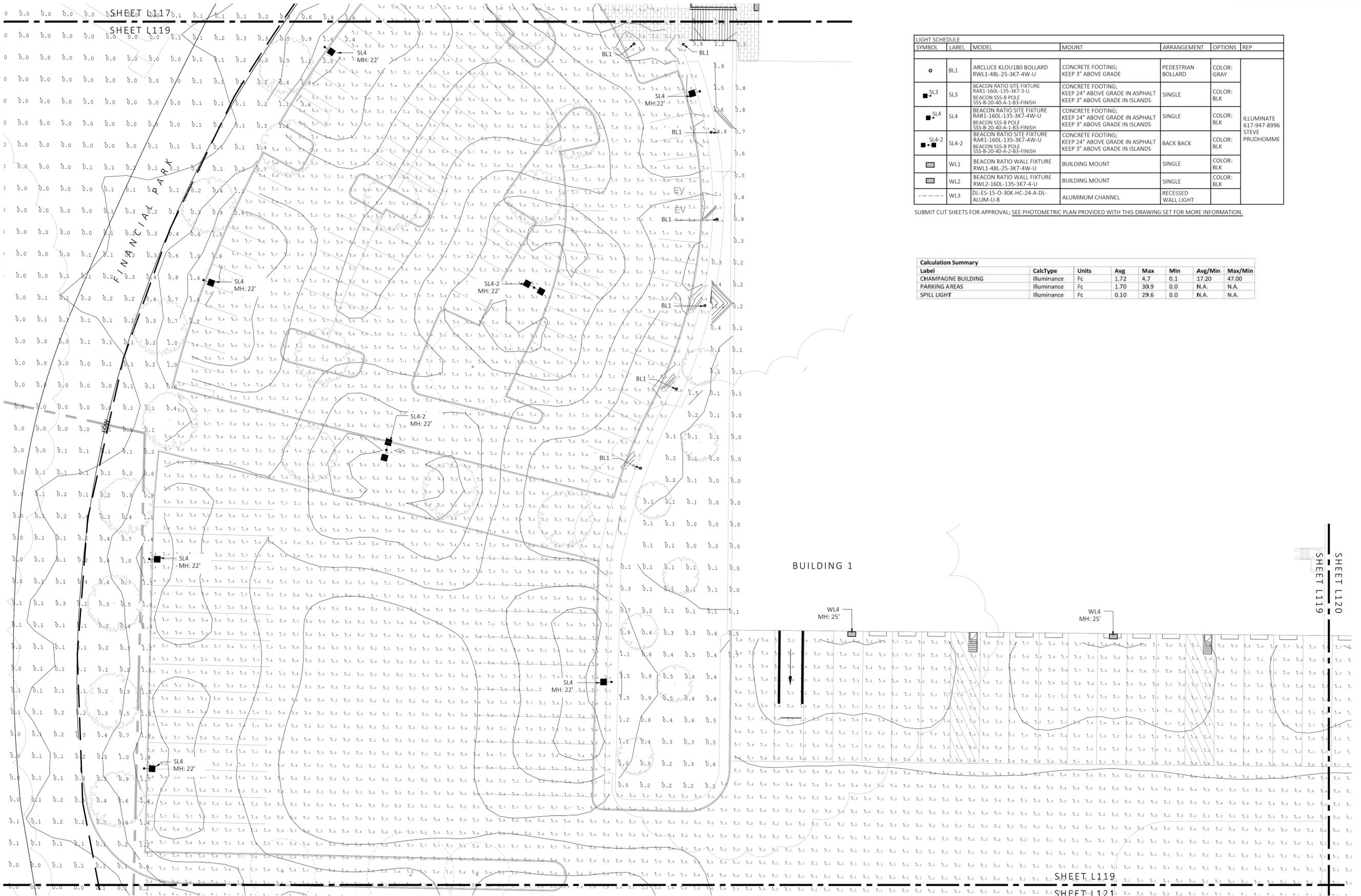
PHOTOMETRIC PLAN

DRAWN:  
NC  
CHECKED:  
AS NOTED  
SCALE:  
AS NOTED  
DATE:  
5/11/2023

**L118**

SHEET 19 OF 24

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NOT FOR CONSTRUCTION



LIGHT SCHEDULE						
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
○	BL1	ARCLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	
■	SL3	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-4G-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
■	SL4	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-4G-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4-2	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-4G-A-2-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
■	SL4-2	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-4G-A-2-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
■	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
■	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
---	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CHAMPAGNE BUILDING	ILLUMINANCE	Fc	1.72	4.7	0.1	17.20	47.00
PARKING AREAS	ILLUMINANCE	Fc	1.70	30.9	0.0	N.A.	N.A.
SPILL LIGHT	ILLUMINANCE	Fc	0.10	29.6	0.0	N.A.	N.A.

1 PHOTOMETRIC PLAN  
SCALE: 1" = 20'-0"



**MDLA**  
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WAREHOUSE / INDUSTRIAL DEV.  
100 / 200 FINANCIAL PARK  
FRANKLIN, MA

STAMP  
MICHAEL D'ANGELO  
REGISTERED LANDSCAPE ARCHITECT  
NO. 4098  
STATE OF MASSACHUSETTS

REV. NO.	DATE	DESCRIPTION
1	5/11/23	FOR PERMIT
1	7/17/23	RESPONSE TO COMMENTS
2	8/10/23	

PHOTOMETRIC PLAN

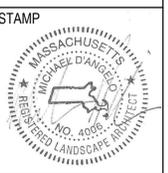
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CHECKED:  
AS NOTED  
SCALE:  
AS NOTED  
DATE:  
5/11/2023

**L119**

SHEET 20 OF 24

plot date: 8/9/2023

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NOT FOR CONSTRUCTION



REV. NO.	DATE	DESCRIPTION
1	5/11/23	FOR PERMIT
2	7/17/23	RESPONSE TO COMMENTS
3	8/10/23	

PHOTOMETRIC PLAN

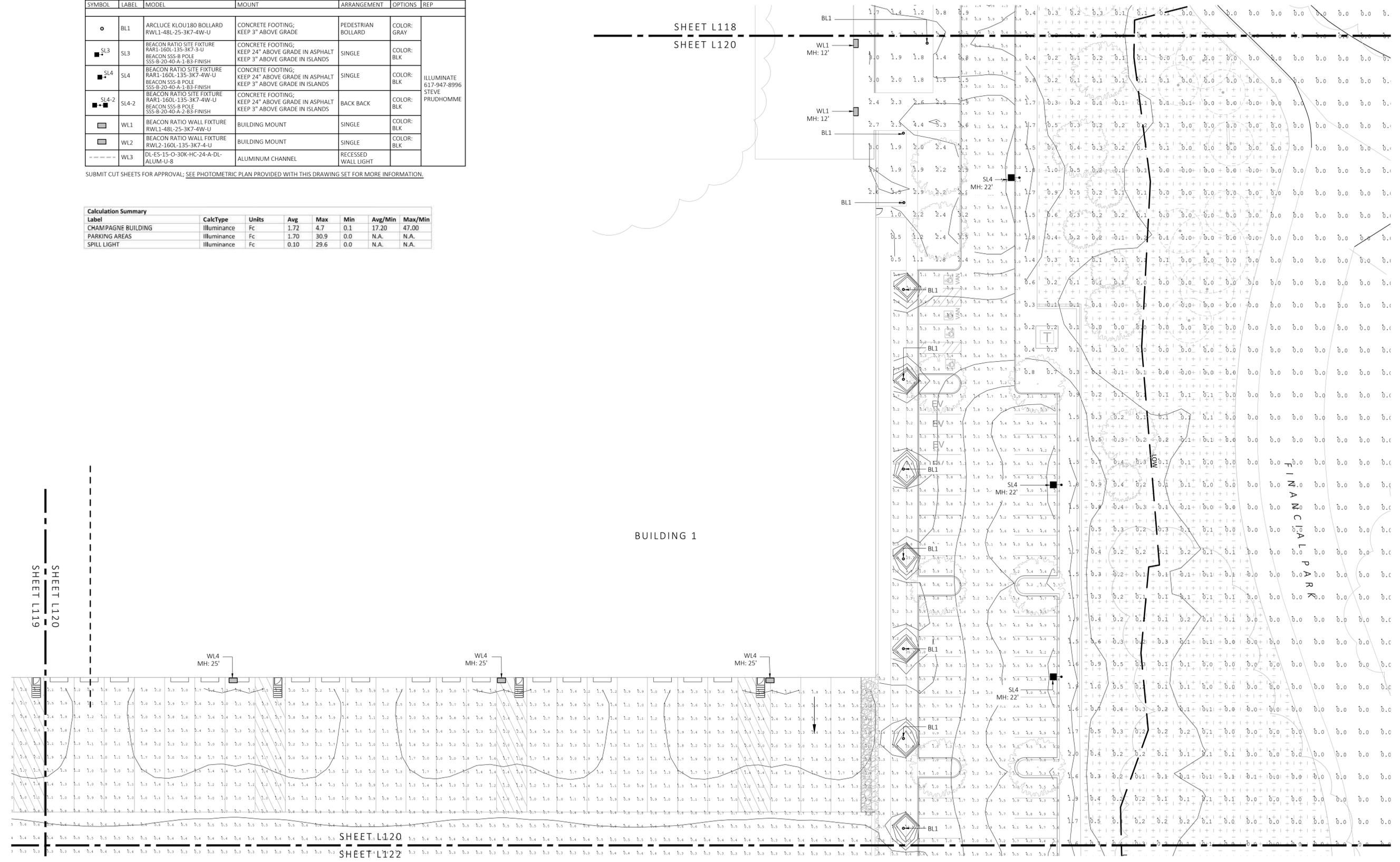
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CHECKED: AS NOTED  
SCALE: AS NOTED  
DATE: 5/11/2023

SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
○	BL1	ARCLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	
■	SL3	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-3-U BEACON SSS-B-POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B-POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
■	SL4-2	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B-POLE SSS-B-20-40-A-2-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
□	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
□	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
---	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CHAMPAGNE BUILDING	illuminance	Fc	1.72	4.7	0.1	17.20	47.00
PARKING AREAS	illuminance	Fc	1.70	30.9	0.0	N.A.	N.A.
SPILL LIGHT	illuminance	Fc	0.10	29.6	0.0	N.A.	N.A.

SHEET L118  
SHEET L120



1 PHOTOMETRIC PLAN  
SCALE: 1" = 20'-0"

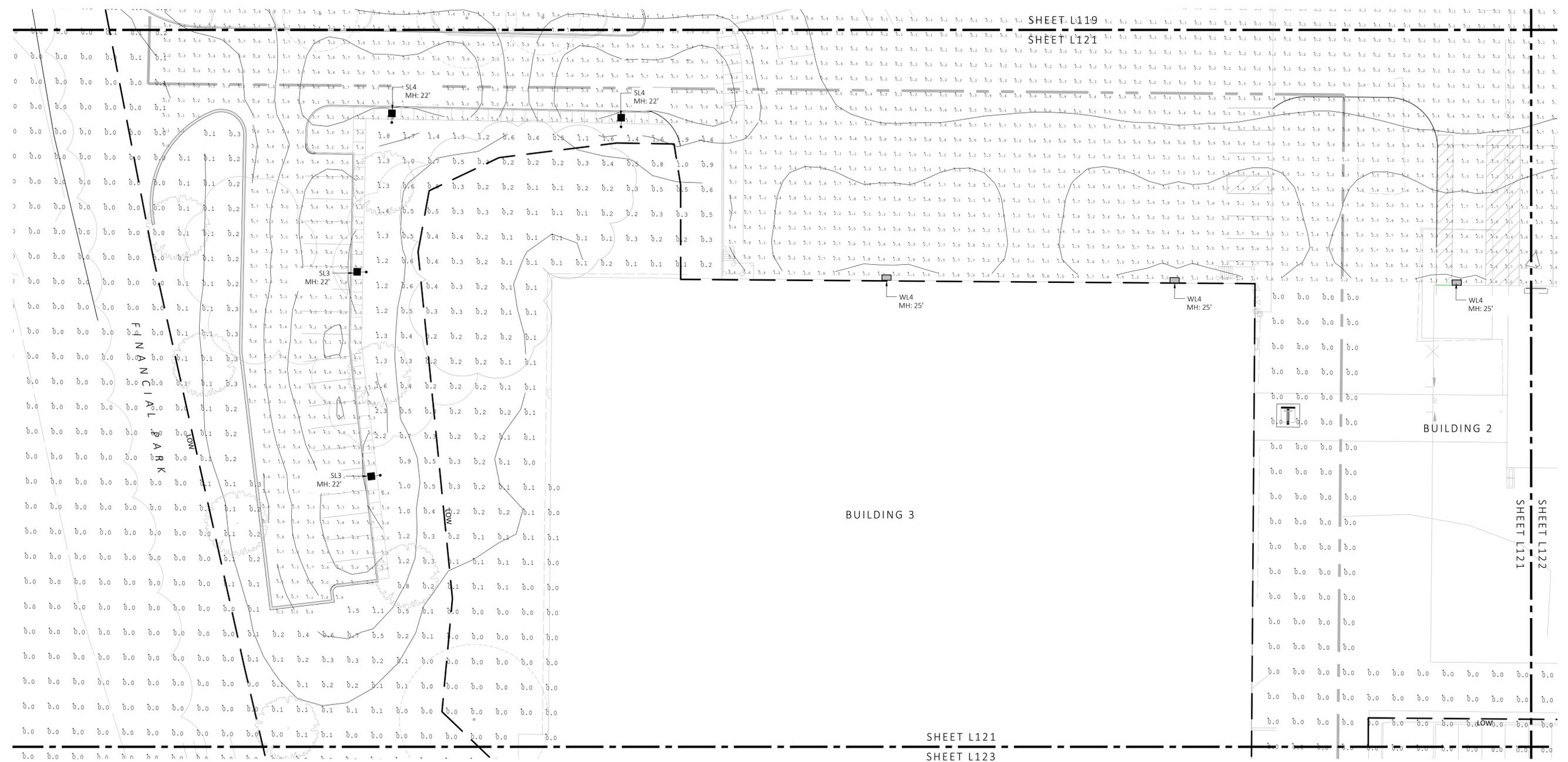


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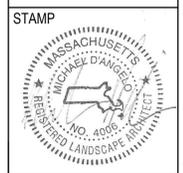
LIGHT SCHEDULE						
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
○	BL1	ARCLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	
■	SL3	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-3-U BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
■	SL4	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4-2	BEACON RATIO SITE FIXTURE RARI-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-2-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
■	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
■	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
---	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CHAMPAGNE BUILDING	illuminance	Fc	1.72	4.7	0.1	17.20	47.00
PARKING AREAS	illuminance	Fc	1.70	30.9	0.0	N.A.	N.A.
SPILL LIGHT	illuminance	Fc	0.10	29.6	0.0	N.A.	N.A.



1 PHOTOMETRIC PLAN  
SCALE: 1" = 20'-0"

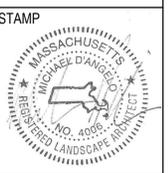


REV. NO.	DATE	DESCRIPTION
1	5/11/23	FOR PERMIT
2	8/10/23	RESPONSE TO COMMENTS

PHOTOMETRIC PLAN

DRAWN: NC  
CHECKED: AS NOTED  
SCALE: AS NOTED  
DATE: 5/11/2023  
**L121**

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REV. NO.	DATE	DESCRIPTION
1	5/11/23	FOR PERMIT
2	7/17/23	RESPONSE TO COMMENTS
3	8/10/23	

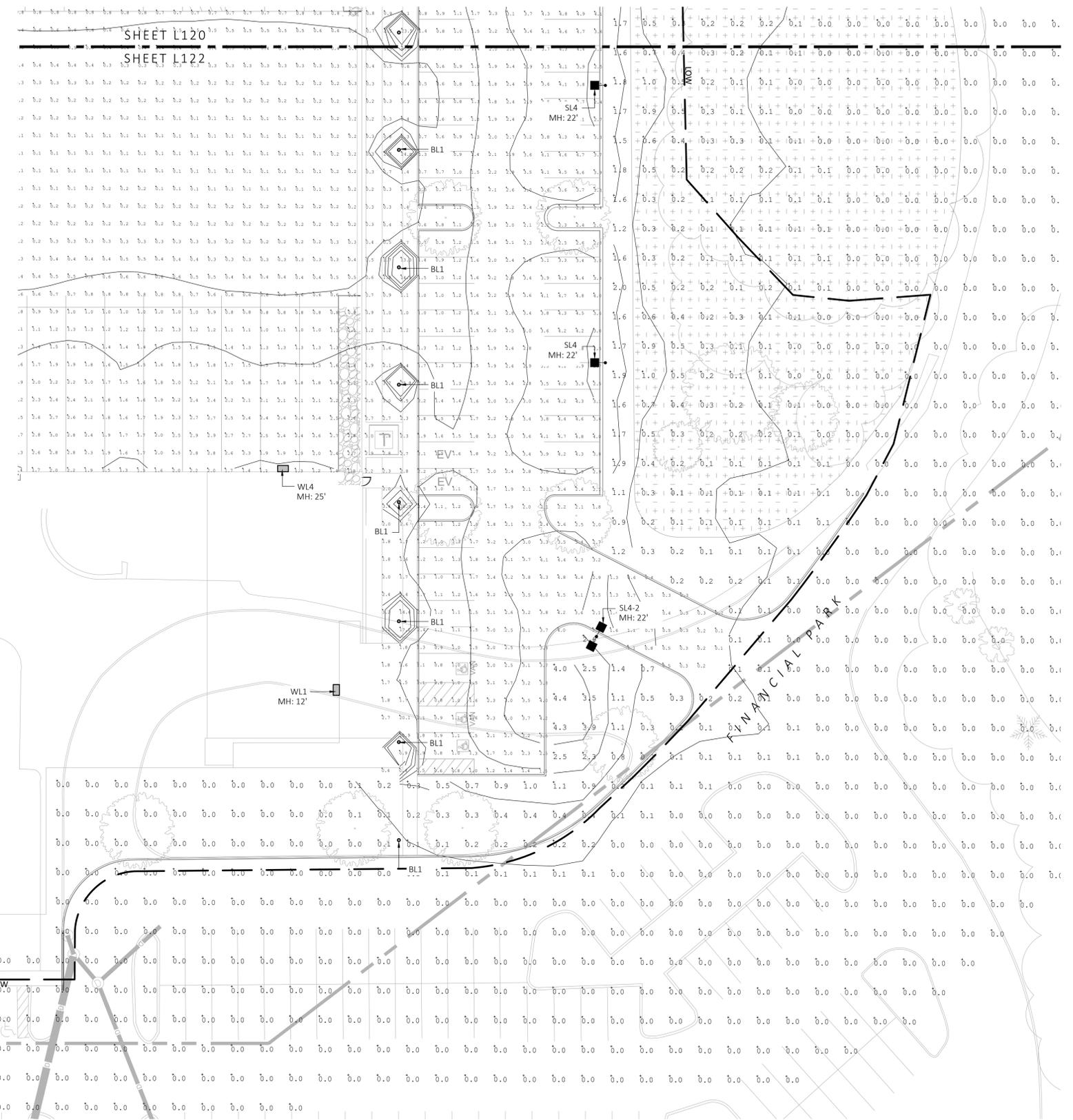
**PHOTOMETRIC PLAN**

DRAWN: NC  
CHECKED: AS NOTED  
SCALE: AS NOTED  
DATE: 5/11/2023

LIGHT SCHEDULE		MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
○	BL1	ARLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	
■	SL3	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-3-U BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
■	SL4	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-1-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4-2	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-2-B3-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
□	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
□	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
---	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CHAMPAGNE BUILDING	illuminance	Fc	1.72	4.7	0.1	17.20	47.00
PARKING AREAS	illuminance	Fc	1.70	30.9	0.0	N.A.	N.A.
SPILL LIGHT	illuminance	Fc	0.10	29.6	0.0	N.A.	N.A.

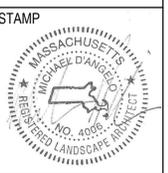


SHEET L121  
SHEET L122  
SHEET L123

**1 PHOTOMETRIC PLAN**  
SCALE: 1" = 20'-0"



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REV. NO.	DATE	DESCRIPTION
1	5/11/23	FOR PERMIT
2	7/17/23	RESPONSE TO COMMENTS
3	8/10/23	

PHOTOMETRIC PLAN

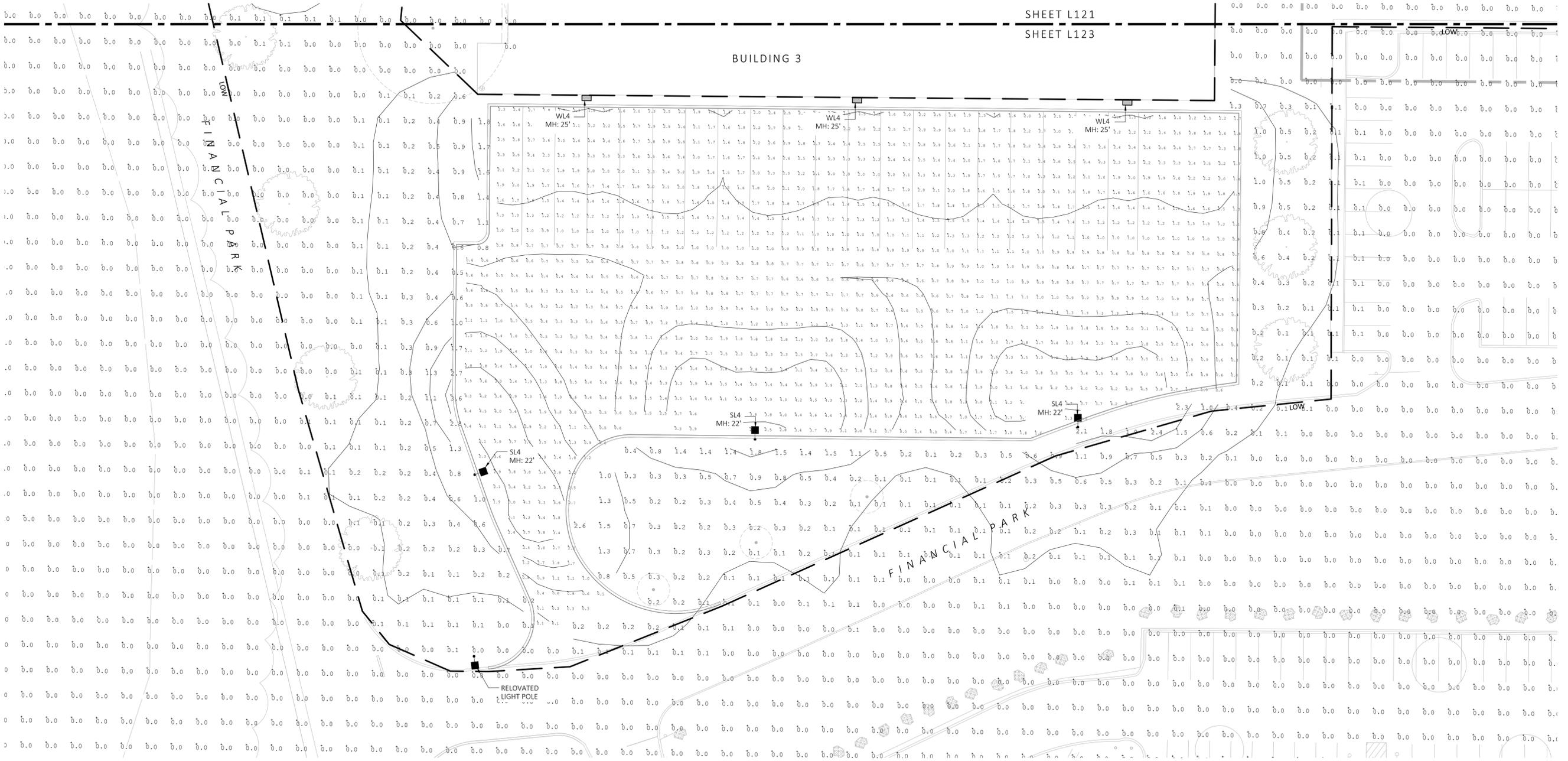
DRAWN: NC  
CHECKED: AS NOTED  
SCALE: AS NOTED  
DATE: 5/11/2023

**L123**

LIGHT SCHEDULE						
SYMBOL	LABEL	MODEL	MOUNT	ARRANGEMENT	OPTIONS	REP
○	BL1	ARCLUCE KLOU180 BOLLARD RWL1-48L-25-3K7-4W-U	CONCRETE FOOTING; KEEP 3" ABOVE GRADE	PEDESTRIAN BOLLARD	COLOR: GRAY	
■	SL3	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-3-U BEACON SSS-B POLE SSS-B-20-40-A-1-83-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	
■	SL4	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-1-83-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	SINGLE	COLOR: BLK	ILLUMINATE 617-947-8996 STEVE PRUDHOMME
■	SL4-2	BEACON RATIO SITE FIXTURE RAR1-160L-135-3K7-4W-U BEACON SSS-B POLE SSS-B-20-40-A-1-83-FINISH	CONCRETE FOOTING; KEEP 24" ABOVE GRADE IN ASPHALT KEEP 3" ABOVE GRADE IN ISLANDS	BACK BACK	COLOR: BLK	
□	WL1	BEACON RATIO WALL FIXTURE RWL1-48L-25-3K7-4W-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
□	WL2	BEACON RATIO WALL FIXTURE RWL2-160L-135-3K7-4-U	BUILDING MOUNT	SINGLE	COLOR: BLK	
---	WL3	DL-ES-15-O-30K-HC-24-A-DL- ALUM-U-8	ALUMINUM CHANNEL	RECESSED WALL LIGHT		

SUBMIT CUT SHEETS FOR APPROVAL; SEE PHOTOMETRIC PLAN PROVIDED WITH THIS DRAWING SET FOR MORE INFORMATION.

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CHAMPAGNE BUILDING	Illuminance	Fc	1.72	4.7	0.1	17.20	47.00
PARKING AREAS	Illuminance	Fc	1.70	30.9	0.0	N.A.	N.A.
SPILL LIGHT	Illuminance	Fc	0.10	29.6	0.0	N.A.	N.A.



**1** PHOTOMETRIC PLAN  
SCALE: 1" = 20'-0"



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**MDLA**  
MICHAEL D'ANGELO landscape architecture

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**PROJECT**  
WAREHOUSE / INDUSTRIAL DEV.  
100 / 200 FINANCIAL PARK  
FRANKLIN, MA



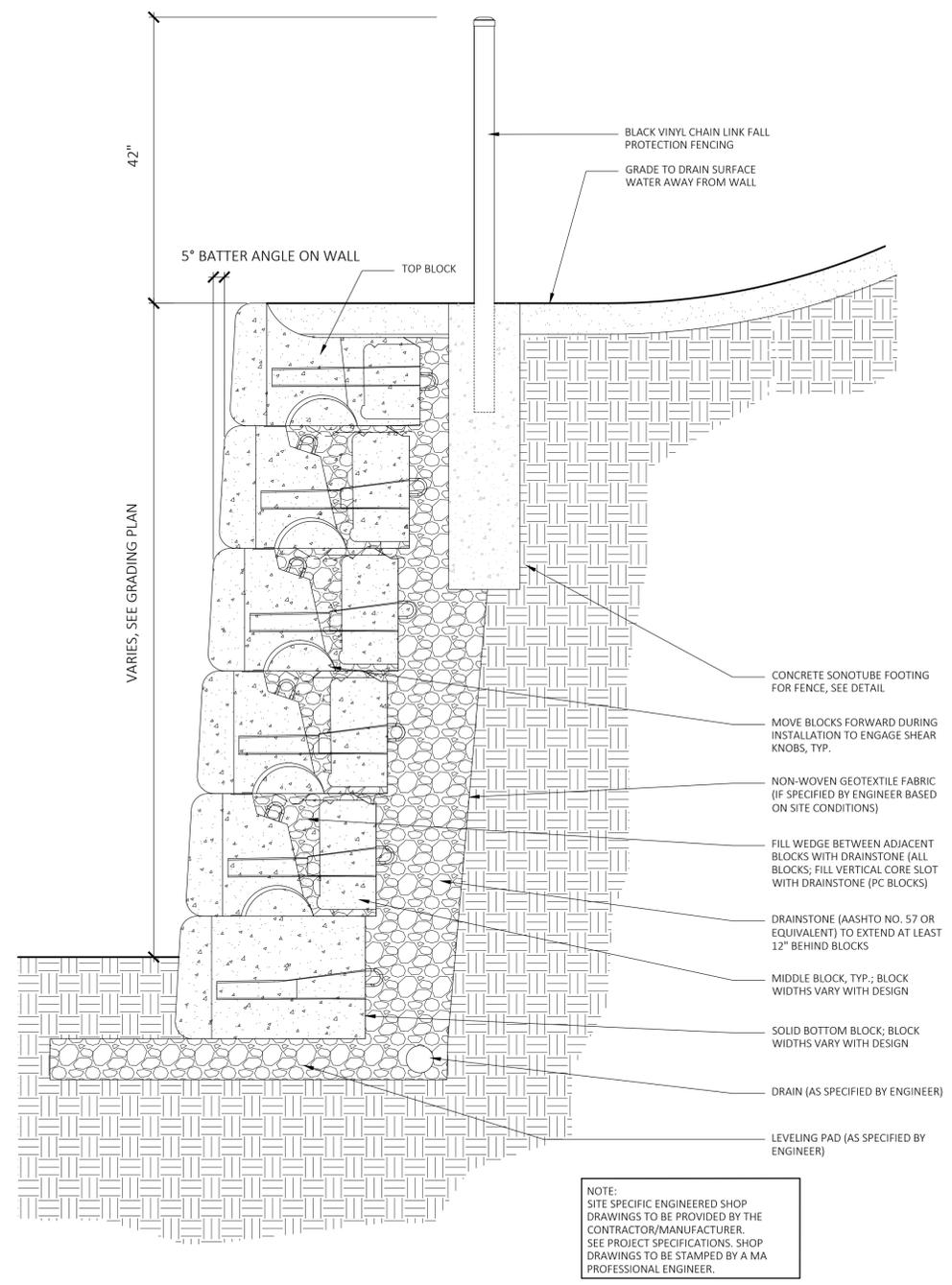
REV. NO.	DATE	DESCRIPTION
	5/11/23	FOR PERMIT
1	7/17/23	RESPONSE TO COMMENTS
2	8/10/23	

LANDSCAPE DETAILS

DRAWN: NC  
CHECKED: AS NOTED  
SCALE: **L124**  
AS NOTED  
DATE: 5/11/2023

SHEET 19 OF 24

plot date: 8/9/2023



**1 GRAVITY BLOCK RETAINING WALL**  
SCALE: 1" = 1'-0"