

# Site Development Plans

COVER - GENERAL NOTES - LEGEND SHEET

Issued for : Notice of Intent / Planning Board Filings

Date Issued - February 9, 2018

Revised October 24, 2018

Job Number - 2017-100

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Lighting Plan (by others)

Architectural Plans - By Sylvestri Architects

## LEGEND

EXIST.	PROPOSED	EXIST.	PROPOSED

## GENERAL NOTES

- ALL PROPOSED WALKWAYS WILL BE HANDICAPPED ACCESSIBLE. ALL PROPOSED SLOPES ON WALKWAYS TO BE LESS THAN 8%.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY EXISTING INFORMATION OR OTHER PROPOSED IMPROVEMENTS. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO J.K. HOLMGREN ENGINEERING. CONTRACTOR WILL REFER TO J.K. HOLMGREN ENGINEERING FOR ALL TECHNICAL COMMENTS FOR RESOLUTION OF THE CONFLICT.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- THE TERM "PROPOSED" (PROP.) MEANS WORK TO BE CONSTRUCTED USING NEW MATERIALS OR, WHERE APPLICABLE, RE-USING EXISTING MATERIALS IDENTIFIED AS "REMOVE AND RESET" (R&R).
- JOINTS BETWEEN NEW BITUMINOUS CONCRETE ROADWAY PAVEMENT AND SAWCUT EXISTING PAVEMENT SHALL BE SEALED WITH BITUMEN AND BACKSANDS.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE THE START OF ANY WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE THE UTILITIES EXACTLY. THE CONTRACTOR SHALL PRESERVE ALL UNDERGROUND UTILITIES. THE CONTRACTOR MUST CALL "DIG SAFE" (AT 1-888-DIG-SAFE) AND THE TOWN OF FRANKLIN UTILITY DIVISION AT LEAST 72 HOURS TO MARK APPROPRIATE UTILITIES BEFORE THE START OF CONSTRUCTION.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED IN KIND. LAWN AREAS SHALL HAVE A MODIFIED LOAM BORROW PLACED AND SEEDED. THE MODIFIED LOAM BORROW SHALL HAVE A MINIMUM DEPTH OF 4" AND SHALL BE PLACED FLUSH WITH THE TOP OF ADJACENT CURB, EDGING, BERM, OR OTHER SURFACE.
- THE CONTRACTOR SHALL WATER, MOW, AND FERTILIZE LAWN AREAS UNTIL SATISFACTORY GRASS STANDS, AND/OR THE OWNER OR ITS REPRESENTATIVE IS SATISFIED.
- THE CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER, AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY FACILITIES DAMAGED BY CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY PERMITS, PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH SAME, AND COORDINATE WITH THE ENGINEER, AS REQUIRED.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS.
- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL SUBMIT A SCHEDULE OF OPERATIONS TO THE OWNER AND ITS REPRESENTATIVE. THE CONTRACTOR SHALL NOTIFY AND COORDINATE WITH THE OWNER, ITS ENGINEER OR REPRESENTATIVE.
- FINAL LAYOUT AND STAKING OF ALL PROPOSED FEATURES AND GRADING SHALL BE REVIEWED IN THE FIELD AND APPROVED BY THE OWNERS REPRESENTATIVE PRIOR TO ANY SITE PREPARATION OR CONSTRUCTION. THE CONTRACTOR SHALL NOT ADJUST OR MODIFY THE LAYOUT AND STAKING OF ANY PROPOSED FEATURES UNTIL FINAL APPROVAL FROM THE OWNERS REPRESENTATIVE.
- THE CONTRACTOR SHALL REMOVE ALL STUMPS, RUBBISH, AND DEBRIS FROM THE PROJECT SITE. STORAGE OF THESE ITEMS WILL NOT BE PERMITTED ON THE PROJECT SITE. THE CONTRACTOR SHALL LEAVE THE SITE IN A SAFE, CLEAN, AND LEVEL CONDITION AT THE COMPLETION OF THE SITE CLEARANCE WORK.
- ALL ELECTRICAL, TELEPHONE, AND LOCAL FIRE DEPARTMENT CONDUITS ARE TO BE INSTALLED BY THE ELECTRICAL CONTRACTOR. TRENCHING, BACKFILLING AND CONCRETE AND STREET REPAIR SHALL BE PERFORMED BY THE GENERAL CONTRACTOR.
- PROPOSED MANHOLE RIMS & GRATES ARE TO BE SET FLUSH AND CONSISTENT WITH GRADING PLANS. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, GAS GATES, WATER GATES AND OTHER UTILITIES TO FINISHED GRADE WITHIN THE LIMITS OF THE SITE WORK. IF ANY CONFLICTS ARE DISCOVERED NOTIFY OWNERS REPRESENTATIVE.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS WITH THE APPROPRIATE UTILITY COMPANIES FOR POLE RELOCATION, AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, AS REQUIRED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A TOWN OF FRANKLIN PUBLIC WORKS CONSTRUCTION LICENSE.
- A STABILIZED CONSTRUCTION EXIT TO BE PUT IN PLACE PRIOR TO THE START OF CONSTRUCTION.
- REMOVE SNOW FROM SITE AS NECESSARY AND DO NOT PLACE ON TOWN PROPERTY.
- THE MAINTENANCE OF THE DRAINAGE SYSTEM IS THE OWNERS RESPONSIBILITY.
- ANY HYDRANT, FIRE PROTECTION WATER SUPPLY LINE, AND ASSOCIATED DEVICES ON SUBJECT PROPERTY SHALL BE MAINTAINED TO THE REQUIREMENTS OF NFPA25.
- THE SITE IS NOT LOCATED IN A DEP WELLS HEAD PROTECTION DISTRICT.
- THE SITE IS NOT LOCATED IN A NHESP ESTIMATED OR PRIORITY HABITAT OF RARE SPECIES.

# Proposed Hotel

725 Union Street, Franklin,  
Norfolk County, Massachusetts

For :

# 4 SQ DEVELOPMENT LLC

Applicant :

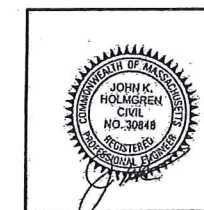
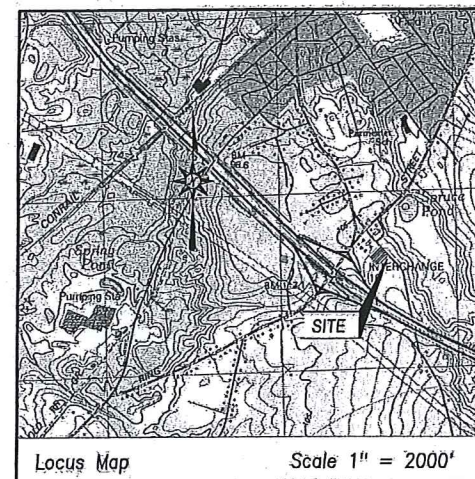
4 SQ Development LLC  
C/O Jigar Patel  
83 Hartwell Avenue  
Lexington, MA 02421  
Phone - (516) 933-5601

Owner :

725 Union St LLC  
153 Buckskin Drive  
Weston, MA 02493

Design Engineer/Surveyor :

J.K. HOLMGREN ENGINEERING INC.  
Registered Professional Engineers and Land Surveyors  
1024 Pearl Street, Brockton, MA. 02301  
Phone - (508) 583-2595 Fax - (508) 588-7518  
Email: jholmgren@jholmgren.com



ENGINEER:  
JOHN K. HOLMGREN  
MASSACHUSETTS REGISTERED  
PROFESSIONAL ENGINEER REG# 30848

SURVEYOR:  
SCOTT M. FARIA  
MASSACHUSETTS REGISTERED  
PROFESSIONAL LAND SURVEYOR REG# 51999

RECEIVED  
OCT 25 2018  
PLANNING DEPT

DATE: 2/9/2018

REV.	BY:	DATE:	REMARKS:	DRAWING NUMBER
3	SSR	10.24.18	REVS. FOR PB SUBM.	C-1
2	SSR	6.13.18	REVS. PER REVIEW ENG.	
1	SSR	-3.1.18	REVS. PER CONS. COM.	
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**JKE** J.K. Holmgren Engineering  
Registered Professional  
Engineers & Land Surveyors



MAP 303, PARCEL 049  
LEONARD S. FRENCH, TRUSTEE  
SILVER MAPLE TRUST  
#470-490 KING STREET

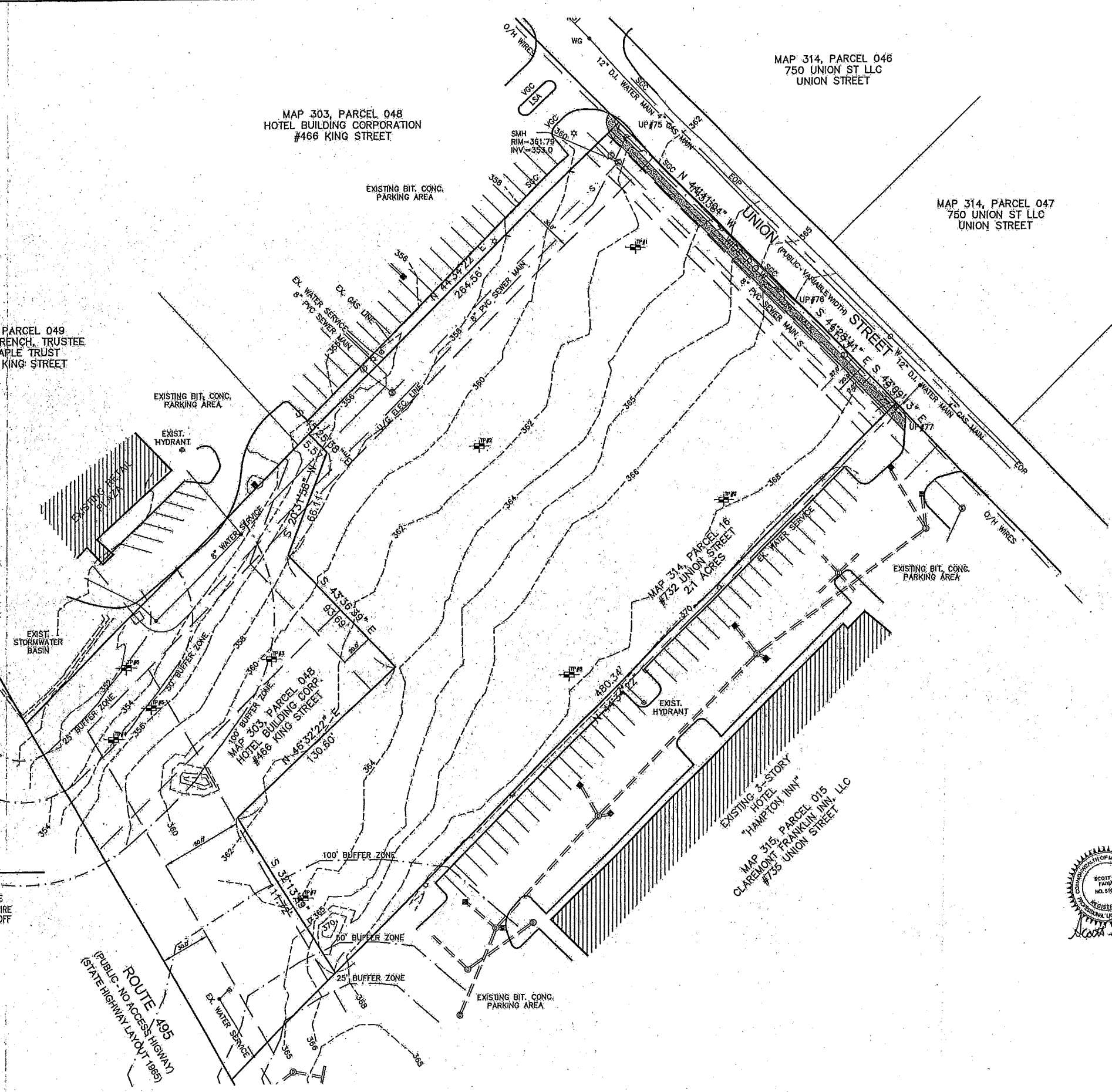
MAP 303, PARCEL 048  
HOTEL BUILDING CORPORATION  
#466 KING STREET

MAP 314, PARCEL 046  
750 UNION ST LLC  
UNION STREET

MAP 314, PARCEL 047  
750 UNION ST LLC  
UNION STREET

**LEGEND**

- ☉ TELEPHONE MANHOLE
- UTILITY POLE/GUY WIRE
- WATER GATE/SHUT-OFF
- ☐ CATCH BASIN
- DRAIN MANHOLE
- SEWER MANHOLE
- HYDRANT
- TRANSFORMER
- CHAIN LINK FENCE
- GAS GATE
- CONTOURS
- SPOT GRADE
- LIGHT POLE
- TREES, BUSHES
- OVERHEAD ELECTRIC
- SEWER LINE
- WATER LINE
- U/G ELECTRIC LINE



**GENERAL NOTES:**

ASSESSORS MAP : 314 PARCEL : 16

LOCUS DEED REFERENCE : BOOK 33499, PAGE 327

PLAN REFERENCE : PLAN 54 OF 2007

APPLICANT :  
4 SQ DEVELOPMENT LLC  
83 HARTWELL AVENUE  
LEXINGTON, MA 02421

OWNER :  
725 UNION ST LLC  
153 BUCKSKIN DRIVE  
WESTON, MA 02493

THE PROJECT SITE IS LOCATED OUTSIDE OF ANY FLOOD ZONES (ZONE X) AS PER FEMA - FIRM MAP COMMUNITY PANEL 2502100309E, DATED JULY, 2012.

THE PROJECT SITE IS NOT LOCATED WITHIN AN AREA MAPPED AS PRIORITY HABITAT & ESTIMATED HABITAT FOR RARE SPECIES ACCORDING TO THE MASSACHUSETTS NATURAL HERITAGE & ENDANGERED SPECIES PROGRAM.

THE PROJECT SITE IS NOT LOCATED WITHIN A ZONE II BELLHEAD PROTECTION ZONE.

Assessors Map: 314 Parcel: 16  
725 Union Street, Franklin, Massachusetts

PREPARED FOR:

**4 SQ DEVELOPMENT LLC**

TIME

**EXISTING CONDITIONS PLAN**

**J.K. HOLMGREN ENGINEERING, INC.**

Registered Professional Engineers and Land Surveyors  
1024 Pearl Street, Brockton, MA 02301  
Phone - (508) 583-2595 Fax - (508) 588-7518  
Email : jholmgren@jholmgren.com



SCALE: 1" = 30'

DATE: 1/4/2018

NO.	BY	DATE	REMARKS
3	SSR	10.24.18	REVS. FOR PB SUBM.
2	SSR	8.13.18	REVS. PER REVIEW ENG.
1	SSR	3.1.18	REVS. PER CONS. COMM.

**C-2**  
DRAWING NUMBER

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2017-100

SIGN SUMMARY		
M.U.T.C.D. NUMBER	SPECIFICATION	TEXT
WIDTH	HEIGHT	
R1-1	24" x 24"	STOP
R7-B*	12" x 18"	♿
ERE LANE SIGN (PLS)	12" x 18"	NO PARKING FIRE LANE

\* ADD "VAN ACCESSIBLE" WHERE APPROPRIATE  
 \*\* COLOR AND WORDING PER LOCAL REQUIREMENTS

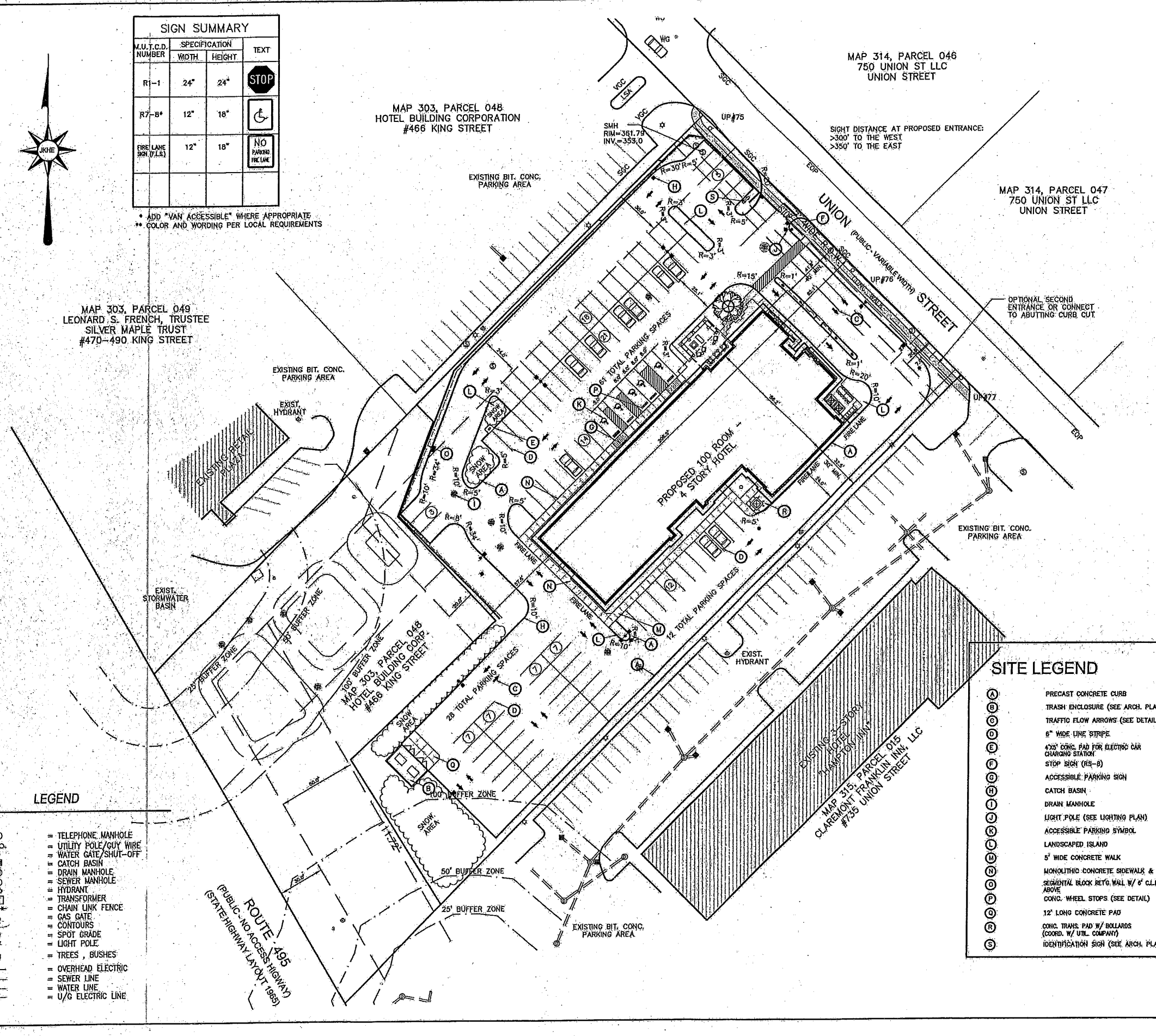


MAP 303, PARCEL 049  
 LEONARD S. FRENCH, TRUSTEE  
 SILVER MAPLE TRUST  
 #470-490 KING STREET

MAP 303, PARCEL 048  
 HOTEL BUILDING CORPORATION  
 #466 KING STREET

MAP 314, PARCEL 046  
 750 UNION ST LLC  
 UNION STREET

MAP 314, PARCEL 047  
 750 UNION ST LLC  
 UNION STREET



**GENERAL NOTES:**

ASSESSORS MAP : 314 PARCEL : 16

LOCUS DEED REFERENCE : BOOK 33498, PAGE 327

PLAN REFERENCE : PLAN 54 OF 2007

APPLICANT :  
 4 SQ DEVELOPMENT LLC  
 83 HARTWELL AVENUE  
 LEXINGTON, MA 02421

OWNER :  
 725 UNION ST LLC  
 153 BUCKSKIN DRIVE  
 WESTON, MA 02493

THE PROJECT SITE IS LOCATED OUTSIDE OF ANY FLOOD ZONES (ZONE X) AS PER FEMA - FIRM MAP COMMUNITY PANEL 2502(C0309E, DATED JULY, 2012).

THE PROJECT SITE IS NOT LOCATED WITHIN AN AREA MAPPED AS PRIORITY HABITAT & ESTIMATED HABITAT FOR RARE SPECIES ACCORDING TO THE MASSACHUSETTS NATURAL HERITAGE & ENDANGERED SPECIES PROGRAM.

THE PROJECT SITE IS NOT LOCATED WITHIN A ZONE II WELLHEAD PROTECTION ZONE.

ZONING TABLE		
ZONE: C1 (COMMERCIAL)		
PROPOSED USE: HOTEL		
	REQUIRED	PROVIDED
MIN. LOT AREA	40,000 S.F.	91,725 S.F.
FRONTAGE	175'	240.48'
FRONT SETBACK	40.0'	41.8'
SIDE SETBACK	30.0'	32.5'
REAR SETBACK	30.0'	37.0'
MAX. BLDG. HEIGHT(STORIES)	40' (3 STORIES)	59.58' *VARIANCE
MAX. % BLDG. LOT COVERAGE	70%	16%
MIN. OPEN SPACE(GREEN SPACE)	20%	20.4%
PARKING SCHEDULE: HOTEL : 1 SPACE / 1 1/8 UNIT		
	100 X 1,125 = 113	** PARKING WAIVER
TOTAL PARKING	113 SPACES	100 SPACES **

\* NOTE : THE PROJECT APPLICANT FILED A HEIGHT VARIANCE REQUEST WITH THE ZONING BOARD OF APPEALS ON JANUARY 18, 2018 (HEARING DATE EXPECTED ON FEBRUARY 22, 2018)

Assessors Map: 314 Parcel: 16  
 725 Union Street, Franklin, Massachusetts

PREPARED FOR

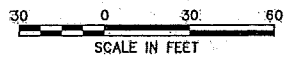
**4 SQ DEVELOPMENT LLC**

TITLE

**LAYOUT & MATERIALS PLAN**

**J.K. HOLMGREN ENGINEERING, INC.**

Registered Professional Engineers and Land Surveyors  
 1024 Pearl Street, Brockton, MA 02301  
 Phone - (508) 683-2595 Fax - (508) 588-7518  
 Email : jholmgren@jholmgren.com



SCALE: 1" = 30'

DATE: 2/9/2018

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**C-3**  
 DRAWING NUMBER

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 2017-100

**LEGEND**

- ☉ TELEPHONE MANHOLE
- ☉ UTILITY POLE/GUY WIRE
- ☉ WATER GATE/SHUT-OFF
- ☉ CATCH BASIN
- ☉ DRAIN MANHOLE
- ☉ SEWER MANHOLE
- ☉ HYDRANT
- ☉ TRANSFORMER
- ☉ CHAIN LINK FENCE
- ☉ GAS GATE
- ☉ CONTOURS
- ☉ SPOT GRADE
- ☉ LIGHT POLE
- ☉ TREES, BUSHES
- ☉ OVERHEAD ELECTRIC
- ☉ SEWER LINE
- ☉ WATER LINE
- ☉ U/G ELECTRIC LINE

**SITE LEGEND**

- Ⓐ PRECAST CONCRETE CURB
- Ⓑ TRASH ENCLOSURE (SEE ARCH. PLANS)
- Ⓒ TRAFFIC FLOW ARROWS (SEE DETAILS)
- Ⓓ 6" WIDE LINE STRIPE
- Ⓔ 4"x3" CONC. PAD FOR ELECTRIC CAR CHARGING STATION
- Ⓕ STOP SIGN (R15-B)
- Ⓖ ACCESSIBLE PARKING SIGN
- Ⓗ CATCH BASIN
- Ⓘ DRAIN MANHOLE
- Ⓝ LIGHT POLE (SEE LIGHTING PLAN)
- Ⓞ ACCESSIBLE PARKING SYMBOL
- Ⓟ LANDSCAPED ISLAND
- Ⓠ 5" WIDE CONCRETE WALK
- Ⓡ MONOLITHIC CONCRETE SIDEWALK & CURB
- Ⓢ SEGMENTAL BLOCK RETO. WALL W/ 6" CL.F. ABOVE
- Ⓣ CONC. WHEEL STOPS (SEE DETAIL)
- Ⓤ 12' LONG CONCRETE PAD
- Ⓡ CONC. TRANS. PAD W/ BOLLARDS (COORD. W/ UTIL. COMPANY)
- Ⓢ IDENTIFICATION SIGN (SEE ARCH. PLANS)

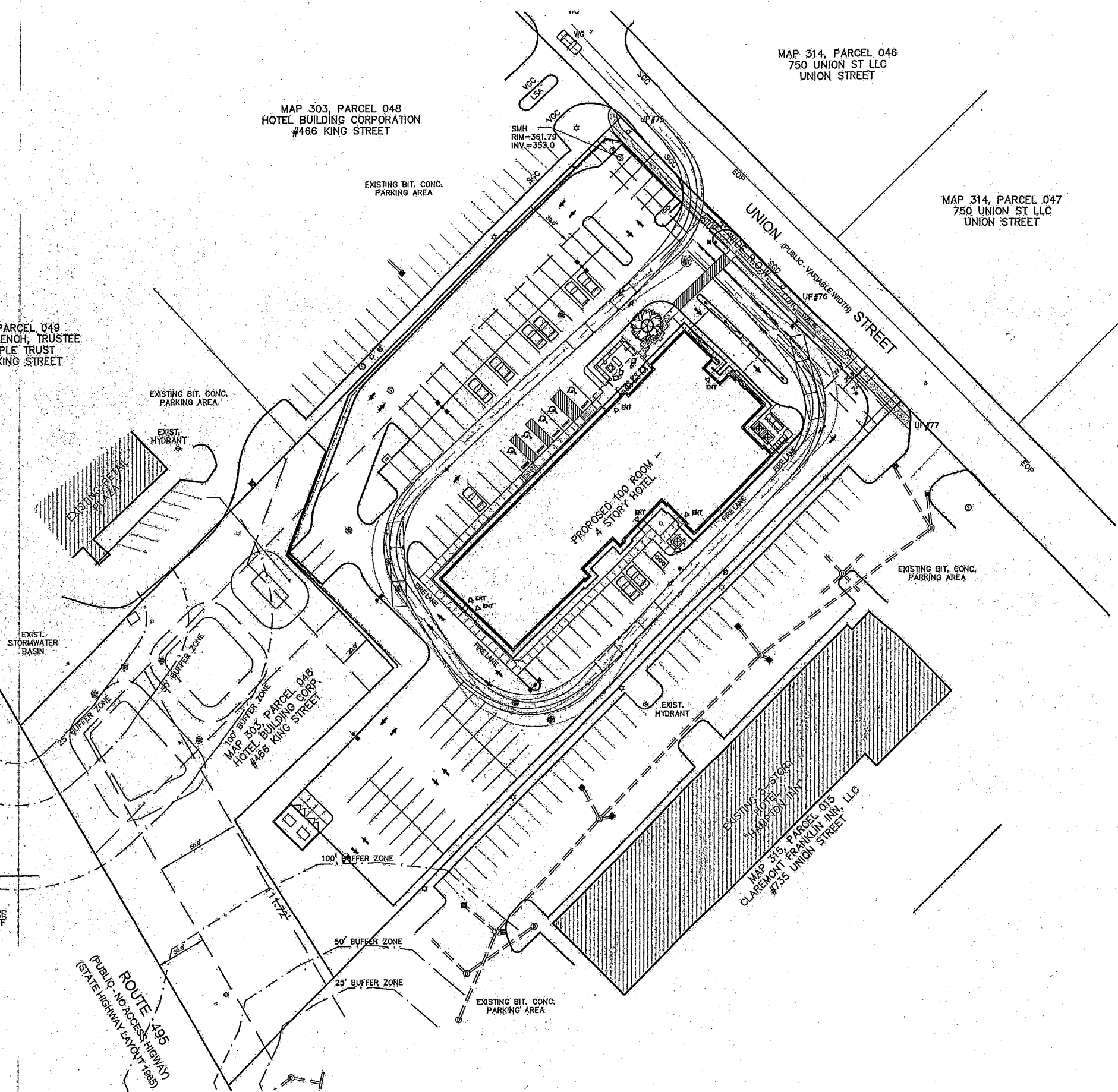


MAP 303, PARCEL 049  
LEONARD S. FRENCH, TRUSTEE  
SILVER MAPLE TRUST  
#470-490 KING STREET

MAP 303, PARCEL 048  
HOTEL BUILDING CORPORATION  
#466 KING STREET

MAP 314, PARCEL 046  
750 UNION ST LLC  
UNION STREET

MAP 314, PARCEL 047  
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UNION STREET



**LEGEND**

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**GENERAL NOTES :**

ASSESSORS MAP : 314 PARCEL : 16

LOCUS DEED REFERENCE : BOOK 33499, PAGE 327

PLAN REFERENCE : PLAN 54 OF 2007

APPLICANT :  
4 SQ DEVELOPMENT LLC  
83 HARTWELL AVENUE  
LEXINGTON, MA 02421

OWNER :  
725 UNION ST LLC  
153 BUCKSKIN DRIVE  
WESTON, MA 02493

THE PROJECT SITE IS LOCATED OUTSIDE OF ANY FLOOD ZONES (ZONE X) AS PER FEMA - FIRM MAP COMMUNITY PANEL 2502100309E, DATED JULY, 2012.

THE PROJECT SITE IS NOT LOCATED WITHIN AN AREA MAPPED AS: PRIORITY HABITAT & ESTIMATED HABITAT FOR RARE SPECIES ACCORDING TO THE MASSACHUSETTS NATURAL HERITAGE & ENDANGERED SPECIES PROGRAM.

THE PROJECT SITE IS NOT LOCATED WITHIN A ZONE II WELLHEAD PROTECTION ZONE.

Assessors Map: 314 Parcel: 16  
725 Union Street, Franklin, Massachusetts

PREPARED FOR:

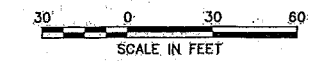
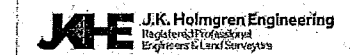
**4 SQ DEVELOPMENT LLC**

TITLE:

**FIRE TRUCK TURNING PLAN**

**J.K. HOLMGREN ENGINEERING, INC.**

Registered Professional Engineers and Land Surveyors.  
1024 Pearl Street, Brockton, MA 02301  
Phone - (508) 583-2595 Fax - (508) 588-7518  
Email : jholmgren@jholmgren.com



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**C-3A**  
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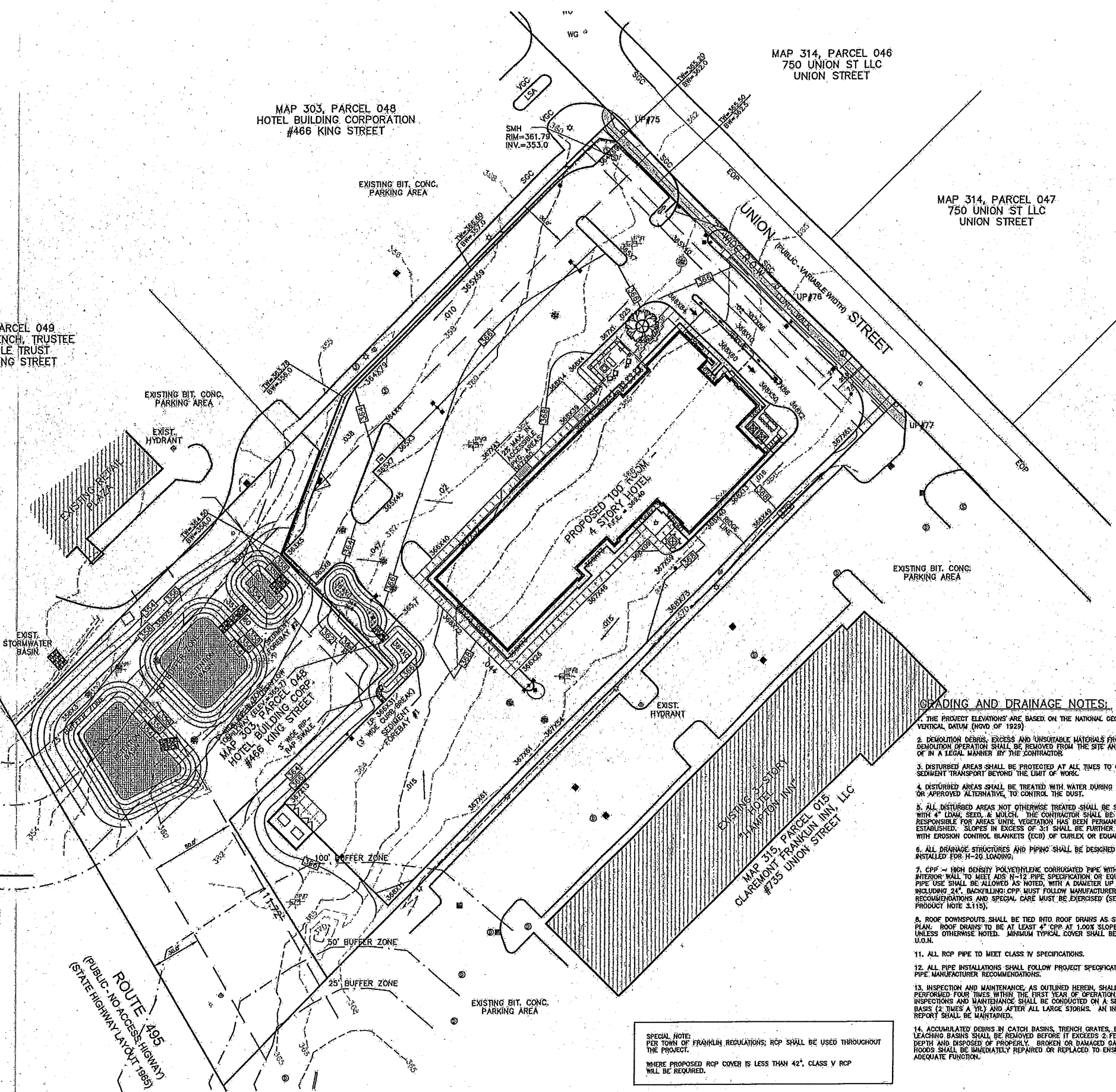


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LEONARD S. FRENCH, TRUSTEE  
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- ⊊ LIGHT POLE
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- ⊈ OVERHEAD ELECTRIC
- ⊇ SEWER LINE
- ⊆ WATER LINE
- ⊅ U/G ELECTRIC LINE

ROUTE 1495  
(PUBLIC-NO ACCESS HIGHWAY  
(STATE HIGHWAY LAYOUT 1989))

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155 BUCKSKON DRIVE  
WESTON, MA 02493

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THE PROJECT SITE IS NOT LOCATED WITHIN A ZONE 1 WELLDRAW PROTECTION ZONE.

BENCHMARK :  
SMH LOCATED AT THE NORTHEAST PROPERTY  
CORNER (SOUTHERN SMH), RIM = 361.70  
(NOV OF 1929)

Assessors Map: 314 Parcel: 16  
725 Union Street, Franklin, Massachusetts

PREPARED FOR

**4 SQ DEVELOPMENT LLC**

TITLE

**GRADING PLAN**

**J.K. HOLMGREN ENGINEERING, INC.**

Registered Professional Engineers and Land Surveyors

1024 Pearl Street, Brockton, MA, 02301

Phone - (508) 583-2595 Fax - (508) 588-7518

Email : jholmgr@jholmgr.com

**JKE** J.K. Holmgren Engineering  
Registered Professional  
Engineers & Land Surveyors



30 0 30 60  
SCALE IN FEET

SCALE: 1" = 30'

DATE: 2/9/2018

3	SSR 10.24.18	REVS. FOR PD SUBM.
2	SSR 6.13.18	REVS. PER REVIEW ENG.
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NO.	BY	DATE
REMARKS		

**C-4**  
DRAWING NUMBER

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2017-100

**GRADING AND DRAINAGE NOTES:**

THE PROJECT ELEVATIONS ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM (NOVD OF 1929)

1. DEMOLITION DEBRIS, EXCESS AND UNSUITABLE MATERIALS FROM THE DEMOLITION OPERATION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER BY THE CONTRACTOR.

2. DISTURBED AREAS SHALL BE PROTECTED AT ALL TIMES TO CONTROL SEDIMENT TRANSPORT BEYOND THE LIMIT OF WORK.

3. DISTURBED AREAS SHALL BE TREATED WITH WATER DURING EXCAVATION OR APPROVED ALTERNATIVE TO CONTROL THE DUST.

4. ALL DISTURBED AREAS NOT OTHERWISE TREATED SHALL BE STABILIZED WITH 4" LDAM SEED, & MULCH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AREAS UNTIL VEGETATION HAS BEEN PERMANENTLY ESTABLISHED. SLOPES IN EXCESS OF 3:1 SHALL BE FURTHER STABILIZED WITH EROSION CONTROL BLANKETS (ECB) OF CURLEX OR EQUAL.

5. ALL DRAINAGE STRUCTURES AND PIPING SHALL BE DESIGNED AND INSTALLED PER 8-20.00(000P).

6. CIP - HIGH DENSITY POLYETHYLENE CORRUGATED PIPE WITH SMOOTH INTERIOR WALL TO MEET AASHTO M-12 PIPE SPECIFICATION OR EQUAL. CPP PIPE USE SHALL BE ALLOWED AS NOTED, WITH A DIAMETER UP TO AND INCLUDING 24". BACKFILLING CPP MUST FOLLOW MANUFACTURER'S RECOMMENDATIONS AND SPECIAL CARE MUST BE EXERCISED (SEE AAS PRODUCT NOTE 3.115).

7. ROOF DOWNSPOUTS SHALL BE TIED INTO ROOF DRAINS AS SHOWN ON PLAN. ROOF DRAINS TO BE AT LEAST 4" CPP AT 1.00% SLOPE MINIMUM, UNLESS OTHERWISE NOTED. MINIMUM TYPICAL COVER SHALL BE 2 FEET, U.O.N.

8. ALL RCP PIPE TO MEET CLASS IV SPECIFICATIONS.

9. ALL PIPE INSTALLATIONS SHALL FOLLOW PROJECT SPECIFICATIONS AND PIPE MANUFACTURER RECOMMENDATIONS.

10. INSPECTION AND MAINTENANCE, AS OUTLINED HEREIN, SHALL BE PERFORMED FOUR TIMES WITHIN THE FIRST YEAR OF OPERATION, THENCE INSPECTIONS AND MAINTENANCE SHALL BE CONDUCTED ON A SEMI-ANNUAL BASIS (2 TIMES A YEAR) AND AFTER ALL LARGE STORMS. AN INSPECTION REPORT SHALL BE MAINTAINED.

11. ACCUMULATED DEBRIS IN CATCH BASINS, TRENCH GRATES, BASINS AND LEACHING BASINS SHALL BE REMOVED BEFORE IT EXCEEDS 2 FEET IN DEPTH AND DISPOSED OF PROPERLY. BROKEN OR DAMAGED GAS TRAPS/ROOFS SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO ENSURE ADEQUATE FUNCTION.

SPECIAL NOTE:  
PER TOWN OF FRANKLIN REGULATIONS, RCP SHALL BE USED THROUGHOUT THE PROJECT.  
WHERE PROPOSED RCP COVER IS LESS THAN 42", CLASS V RCP WILL BE REQUIRED.

**DRAINAGE SCHEDULE**

CB1 RIM=366.85 INV.=364.18	DMH A (6" DIA.) RIM=365.9 INV(N-CB1)=363.64 INV(N-CB2&2A)=360.93 (HYD)OUT=360.93	CB5 RIM=365.94 INV.=362.94
CB2 RIM=363.60 INV.=360.93	CB3 RIM=364.27 INV.=360.91	DMH D RIM=366.50 INV(CB5)=362.48 INV(OUT)=360.61
CB2A RIM=364.54 INV.=361.02	DMH B RIM=366.8 INV.=360.54	DMH H RIM=368.5 INV(N)=362.87 INV(OUT)=362.87
CB4 (DO) RIM=361.78 INV.=359.12	DMH C RIM=363.6 INV(N-CB4)=358.83 INV(N-DMH B)=359.68 INV(N-DMH D)=360.35 INV(OUT)=357.53	DMH J RIM=358.3 INV(N)=354.8 INV(OUT)=354.80
DMH G RIM=368.89 INV(N)=351.47 INV(OUT)=351.47	DMH E RIM=365.4 INV(N)=360.00 INV(OUT)=358.00	DMH I RIM=368.5 INV(N)=362.87 INV(OUT)=362.87
DMH F RIM=368.5 INV(N)=358.50 INV(OUT)=358.50	DMH K RIM=365.9 INV(N)=363.33	



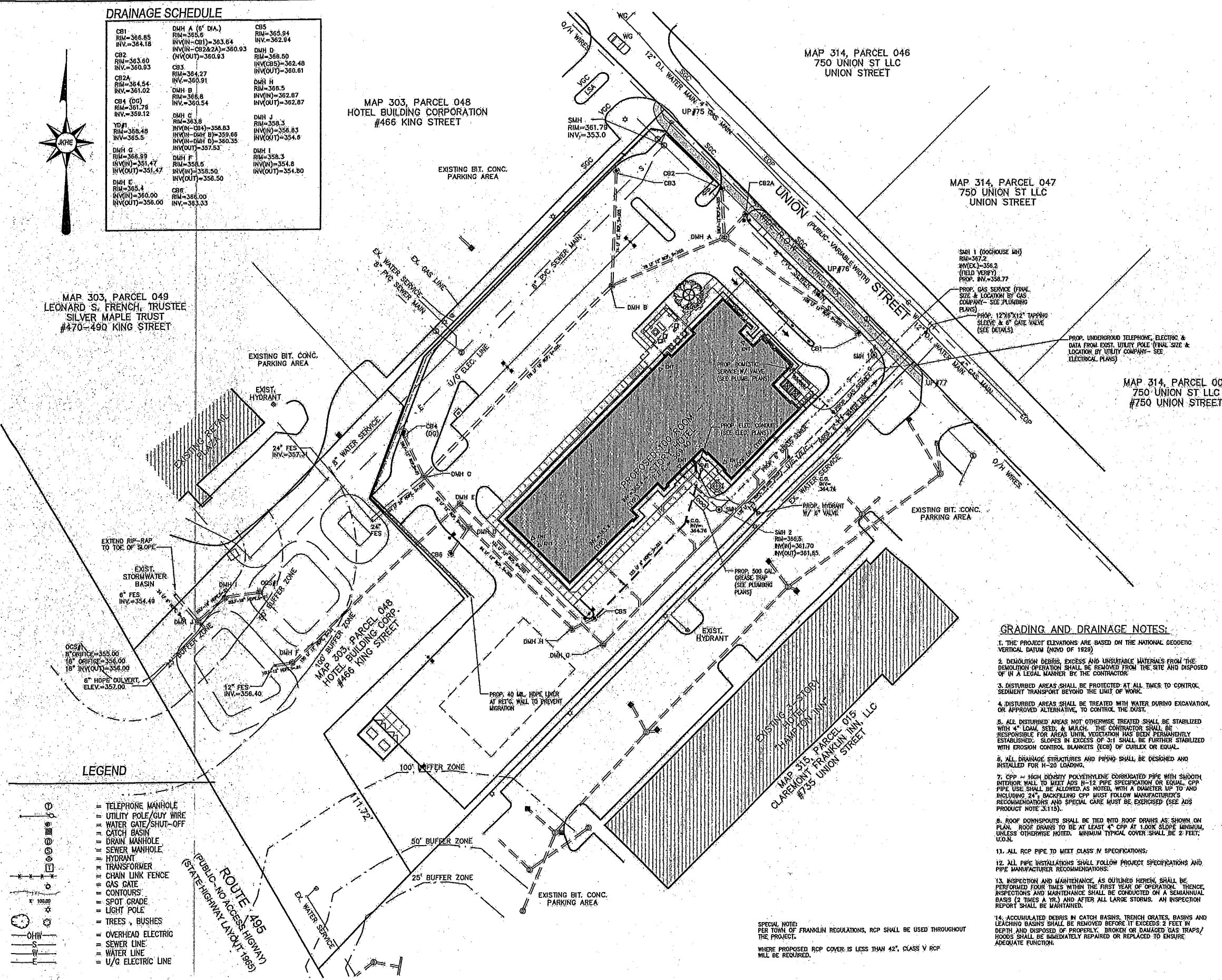
MAP 303, PARCEL 049  
LEONARD S. FRENCH, TRUSTEE  
SILVER MAPLE TRUST  
#470-490 KING STREET

MAP 303, PARCEL 048  
HOTEL BUILDING CORPORATION  
#466 KING STREET

MAP 314, PARCEL 046  
750 UNION ST LLC  
UNION STREET

MAP 314, PARCEL 047  
750 UNION ST LLC  
UNION STREET

MAP 314, PARCEL 005  
750 UNION ST LLC  
#750 UNION STREET



**GENERAL NOTES:**

- ASSESSORS MAP : 314 PARCEL : 16
- LOCUS DEED REFERENCE : BOOK 33499, PAGE 327
- PLAN REFERENCE : PLAN 54 OF 2007
- APPLICANT :  
4 SQ DEVELOPMENT LLC  
153 BUCKSKIN DRIVE  
LEXINGTON, MA 02421
- OWNER :  
725 UNION ST LLC  
153 BUCKSKIN DRIVE  
WESTON, MA 02493
- THE PROJECT SITE IS LOCATED OUTSIDE OF ANY FLOOD ZONES (ZONE X) AS PER FEMA - FIRM MAP COMMUNITY PANEL 25021C0309E, DATED JULY, 2012.
- THE PROJECT SITE IS NOT LOCATED WITHIN AN AREA MAPPED AS PRIORITY HABITAT & ESTIMATED HABITAT FOR RARE SPECIES ACCORDING TO THE MASSACHUSETTS NATURAL HERITAGE & ENDANGERED SPECIES PROGRAM.
- THE PROJECT SITE IS NOT LOCATED WITHIN A ZONE II WELLHEAD PROTECTION ZONE.

**UTILITY NOTES:**

1. 12" MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED BETWEEN ALL UTILITY CROSSINGS.
2. A MINIMUM 10' HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER AND SEWER LINES. WHERE WATER LINES CROSS SEWER LINES, THE SEWER LINE SHALL BE LOCATED WITH A MINIMUM VERTICAL CLEARANCE OF 18" BELOW THE WATER LINE. THE SEWER LINE JOINTS SHALL BE LOCATED EQUI-DISTANT AND AS FAR AWAY FROM THE WATER LINE AS POSSIBLE. WHEN IT IS IMPOSSIBLE TO ACHIEVE HORIZONTAL AND/OR VERTICAL SEPARATION AS SPECIFIED ABOVE, BOTH THE WATER LINE AND SEWER LINE AT THE CROSSING LOCATION SHALL BE CONSTRUCTED OF MECHANICAL JOINT CEMENT-LINED DUCTILE IRON PIPE FOR ONE FULL 20' PIPE LENGTH OR ANOTHER EQUIVALENT THAT IS WATER-TIGHT AND STRUCTURALLY SOUND. THE JOINTS FOR BOTH PIPES SHALL BE LOCATED AS FAR AWAY FROM THE CROSSING AS POSSIBLE. BOTH PIPES SHOULD BE PRESSURE TESTED TO 150 PSI TO ENSURE THAT THEY ARE WATER-TIGHT.
3. SEWER BUILDING CONNECTIONS SHALL BE 6" MIN. SDR 35 PVC D.O.A., AT A SLOPE OF 1/8" MINIMUM FROM MAINLINE TO BUILDING UNIT WITH A CLEAN OUT SET AT A DISTANCE OF 10' (O.D.A.) OFF EACH UNIT FOUNDATION.
4. TYPICAL COVER OVER WATER LINE SHALL BE 5', IF LESS THAN 4' OF COVER IS PROVIDED, INSULATE WATER LINE AGAINST FREEZING.
5. GAS, ELECTRIC, DATA/COM IS SHOWN SCHEMATICALLY HEREON. THESE UTILITIES SHALL BE INSTALLED WITH A MINIMUM COVER OF 3 FEET U.O.A. OR OTHERWISE DIRECTED BY THE CONTROLLING UTILITY COMPANY. CONTRACTOR SHALL COORDINATE FINAL LAYOUT WITH APPLICABLE UTILITY COMPANY.
6. ALL COMMERCIAL LIGHTING SHALL DIRECT ALL LIGHT SO AS TO KEEP ALL LIGHTING WITHIN SUBJECT LOT.
7. ALL UTILITY CUTS THROUGH EXISTING CONCRETE OR BITUMINOUS CONCRETE PAVED SURFACES SHALL BE SAW CUT, BACK FILLING OR TRENCH SHALL INCLUDE 12" IN DEPTH FLOWABLE FILL TO BE THE BASE COURSE OF THE SURFACE. TREATMENT, THE SURFACE TREATMENT SHALL THEN BE REPLACED IN KIND. IF THE BITUMINOUS CONCRETE SURFACE IS WITHIN THE ROADWAY, THE BITUMINOUS CONCRETE TOP COURSE SHALL BE FINISHED WITH INFRARED TREATMENT TO BLEND EXISTING & NEWLY PAVED SURFACES.

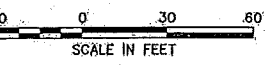
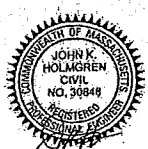
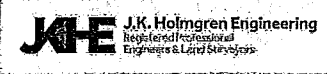
Assessors Map: 314 Parcel: 16  
725 Union Street, Franklin, Massachusetts

PREPARED FOR:

**4 SQ DEVELOPMENT LLC**

**DRAINAGE & UTILITY PLAN**

**J.K. HOLMGREN ENGINEERING, INC.**  
Registered Professional Engineers and Land Surveyors  
1024 Pearl Street, Brockton, MA, 02301  
Phone - (508) 583-2595 Fax - (508) 588-7518  
Email : jholm@holmgren.com



SCALE: 1" = 30'

DATE: 2/9/2018

NO.	BY	DATE	REMARKS
3	SSR	10.24.18	REVS. FOR PB SUBM.
2	SSR	6.13.18	REVS. PER REVIEW ENG.
1	SSR	3.1.18	REVS. PER CONS. COMM.

**C-5**  
DRAWING NUMBER

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2017-100

**GRADING AND DRAINAGE NOTES:**

1. THE PROJECT ELEVATIONS ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM (NVD) OF 1929.
2. DEMOLITION DEBRIS, EXCESS AND UNSUITABLE MATERIALS FROM THE DEMOLITION OPERATION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER BY THE CONTRACTOR.
3. DISTURBED AREAS SHALL BE PROTECTED AT ALL TIMES TO CONTROL SEDIMENT TRANSPORT BEYOND THE LIMIT OF WORK.
4. DISTURBED AREAS SHALL BE TREATED WITH WATER DURING EXCAVATION, OR APPROVED ALTERNATIVE, TO CONTROL THE DUST.
5. ALL DISTURBED AREAS NOT OTHERWISE TREATED SHALL BE STABILIZED WITH 4" LOAM, SEED, & MULCH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AREAS UNTIL VEGETATION HAS BEEN PERMANENTLY ESTABLISHED. SLOPES IN EXCESS OF 3:1 SHALL BE FURTHER STABILIZED WITH EROSION CONTROL BLANKETS (ECB) OF CURLEX OR EQUAL.
6. ALL DRAINAGE STRUCTURES AND PIPING SHALL BE DESIGNED AND INSTALLED FOR H-20 LOADING.
7. CPP - HIGH DENSITY POLYETHYLENE CORRUGATED PIPE WITH SMOOTH INTERIOR WALL TO MEET AASHTO M-12 PIPE SPECIFICATION OR EQUAL. CPP PIPE USE SHALL BE ALLOWED, AS NOTED, WITH A DIAMETER UP TO AND INCLUDING 24". BACKFILLING CPP MUST FOLLOW MANUFACTURER'S RECOMMENDATIONS AND SPECIAL CARE MUST BE EXERCISED (SEE AASHTO PRODUCT NOTE 3.115).
8. ROOF DOWNSPOUTS SHALL BE TIED INTO ROOF DOWNS AS SHOWN ON PLAN. ROOF DOWNS TO BE AT LEAST 4" CPP AT LEAK SLOPE MINIMUM, UNLESS OTHERWISE NOTED. MINIMUM TYPICAL COVER SHALL BE 2 FEET, U.O.A.
11. ALL RCP PIPE TO MEET CLASS IV SPECIFICATIONS.
12. ALL PIPE INSTALLATIONS SHALL FOLLOW PROJECT SPECIFICATIONS AND PIPE MANUFACTURER RECOMMENDATIONS.
13. INSPECTION AND MAINTENANCE, AS OUTLINED HEREIN, SHALL BE PERFORMED FOUR TIMES WITHIN THE FIRST YEAR OF OPERATION. THENCE, INSPECTIONS AND MAINTENANCE SHALL BE CONDUCTED ON A SEMIANNUAL BASIS (2 TIMES A YEAR) AND AFTER ALL LARGE STORMS. AN INSPECTION REPORT SHALL BE MAINTAINED.
14. ACCUMULATED DEBRIS IN CATCH BASINS, TRENCH GRATES, BASINS AND LEACHING BASINS SHALL BE REMOVED BEFORE IT EXCEEDS 2 FEET IN DEPTH AND DISPOSED OF PROPERLY. BROKEN OR DAMAGED GAS TRAPS/HOODS SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO ENSURE ADEQUATE FUNCTION.

SPECIAL NOTE:  
PER TOWN OF FRANKLIN REGULATIONS, RCP SHALL BE USED THROUGHOUT THE PROJECT.  
WHERE PROPOSED RCP COVER IS LESS THAN 42", CLASS V RCP WILL BE REQUIRED.

**LEGEND**

- TELEPHONE MANHOLE
- UTILITY POLE/GUY WIRE
- WATER GATE/SHUT-OFF
- CATCH BASIN
- DRAIN MANHOLE
- SEWER MANHOLE
- HYDRANT
- TRANSFORMER
- CHAIN LINK FENCE
- GAS GATE
- CONTOURS
- SPOT GRADE
- LIGHT POLE
- TREES, BUSHES
- OVERHEAD ELECTRIC
- SEWER LINE
- WATER LINE
- U/G ELECTRIC LINE

ROUTE 495  
(PUBLIC-NO ACCESS HIGHWAY)  
(STATE HIGHWAY LAYOUT 1989)



MAP 303, PARCEL 049  
LEONARD S. FRENCH, TRUSTEE  
SILVER MAPLE TRUST  
#470-490 KING STREET

MAP 303, PARCEL 048  
HOTEL BUILDING CORPORATION  
#466 KING STREET

MAP 314, PARCEL 046  
750 UNION ST LLC  
UNION STREET

MAP 314, F  
750 UNIO  
UNION :

LANDSCAPE SCHEDULE					
SYMBOL NAME	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
AROG	7	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2-2 1/2" CAL.	B & B
GTIS	3	GLEDITSIA TRIACANTHOS NERUMS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST	2-2 1/2" CAL.	B & B
LT	1	LIRIODENDRON TULIPIFERA	TULIP TREE	3-3 1/2" CAL.	B & B
LSR	5	LIGUAMBER STYRACIFLUA	SWEETGUM	2-2 1/2" CAL.	B & B
BP	1	BETULA PAPERIFERA	PAPER BIRCH	2-2 1/2" CAL.	B & B
PS	11	PRUNUS STROBUS	EASTERN WHITE PINE	5-6" HT.	B & B
PPG	8	PICEA PURGENS 'GLAUCA'	COLORADO SPRUCE	6-7" HT.	B & B
TO	11	THUJA OCCIDENTALIS	AMERICAN ARBORVITAE	5-6" HT.	CONTAINER
RCER	10	RHOODODENDRON CATAWBIENSE 'ENGLISH ROSEUM'	ENG. ROSEUM RHOODODENDRON	18-24" HT.	CONTAINER
RHGC	31	RHOODODENDRON X ORTUSUM 'RHODOROSUM'	RHODOROSUM AZALEA	15-18" HT.	CONTAINER
KL	23	KALMIA LATIFOLIA	MOUNTAIN LAUREL	18-24" HT.	CONTAINER
TH	2	TAXUS MEDIA 'HICKSI'	HICKS YEW	30-36" HT.	CONTAINER
TMD	30	TAXUS MEDIA 'DEHSIFORMIS'	DENSE SPREADING YEW	12-18" HT.	CONTAINER
TH	8	TAXUS CANADENSIS	CANADIAN YEW	30-36" HT.	CONTAINER
VD	31	VIBURNUM DENTATUM	ARROWWOOD	30-36" HT.	CONTAINER
IV	15	ILEX VERTICILLATA	WINTERBERRY	18-24" HT.	CONTAINER
HO	13	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	18-24" HT.	CONTAINER

**LANDSCAPE NOTES:**

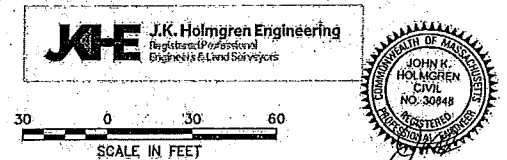
- CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIALS AND EQUIPMENT IN ORDER TO COMPLETE THE WORK.
- ALL SEEDED AND / OR SOG AREAS SHALL RECEIVE 2" OF LOAM OR TOPSOIL.
- ALL MULCH AREAS SHALL RECEIVE A 3" LAYER OF DOUBLE SHREDDED HARDWOOD MULCH.
- PLANTING SOIL MIX SHALL CONSIST OF 1/3 SPHAGNUM PEAT MOSS AND 2/3 FERTILE FIELD LOAM BY VOLUME.
- ALL PLANTINGS AT DRIVEWAY ENTRANCES WILL BE MAINTAINED TO A HEIGHT OF THREE FEET OR LESS AS TO NOT OBSCURE TRAFFIC VISIBILITY.
- ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING GROWING SEASON.
- REFERENCE IS MADE TO THE "MULCH LAW", THE REVISED REGULATION, 327 CMR 1 - 10.14.10.4, PROHIBITS THE NEW APPLICATION OF MULCH WITHIN 18 INCHES AROUND COMBUSTIBLE EXTERIORS OF BUILDINGS, SUCH AS WOOD OR NYL, BUT NOT BRICK OR CONCRETE. AN 18" STRIP OF 1 1/2"- 2 1/2" STONE SHALL BE PLACED AT A DEPTH OF 2" AROUND EXISTING WOOD AND NYL BUILDINGS.

Assessors Map: 314 Parcel: 16  
725 Union Street, Franklin, Massachusetts

PREPARED FOR  
**4 SQ DEVELOPMENT LLC**

**LANDSCAPE DEVELOPMENT PLAN**

**J.K. HOLMGREN ENGINEERING, INC.**  
Registered Professional Engineers and Land Surveyors  
1024 Pearl Street, Brockton, MA, 02301  
Phone - (508) 583-2595 Fax - (508)-588-7518  
Email : jholmgren@jholmgren.com



SCALE: 1" = 30'  
DATE: 02/09/2018

NO.	DATE	REVISIONS
3	SSR 10.24.18	REVS. FOR PB SUBM.
2	SSR 6.13.18	REVS. PER REVIEW ENG.
1	SSR 3.1.18	REVS. PER CONS. COMM.

**C-6**  
DRAWING NUMBER

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2017-100

**LEGEND**

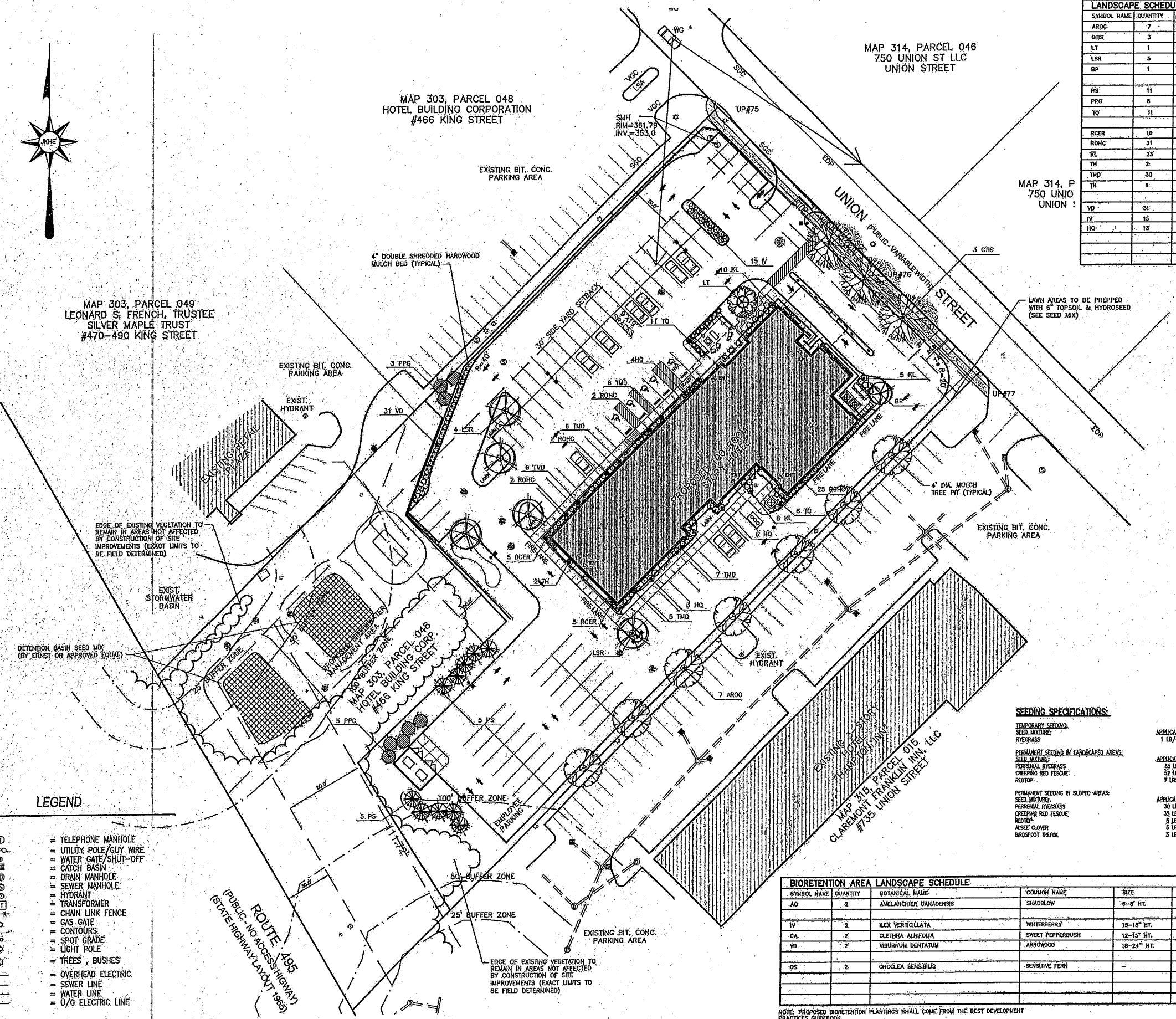
- ☉ TELEPHONE MANHOLE
- ☉ UTILITY POLE/GUY WIRE
- ☉ WATER GATE/SHUT-OFF
- ☉ CATCH BASIN
- ☉ DRAIN MANHOLE
- ☉ SEWER MANHOLE
- ☉ HYDRANT
- ☉ TRANSFORMER
- ☉ CHAIN LINK FENCE
- ☉ GAS GATE
- ☉ CONTOURS
- ☉ SPOT GRADE
- ☉ LIGHT POLE
- ☉ TREES, BUSHES
- ☉ OVERHEAD ELECTRIC
- ☉ SEWER LINE
- ☉ WATER LINE
- ☉ U/G ELECTRIC LINE

**SEEDING SPECIFICATIONS:**

- TEMPORARY SEEDING:**  
SEED MIXTURE: PERGRASS  
APPLICATION RATE: 1 LB/1000 SF
- PERMANENT SEEDING IN LANDSCAPED AREAS:**  
SEED MIXTURE: PERENNIAL RYEGRASS, CREEPING RED FESCUE, REDTOP  
APPLICATION RATE: 85 LBS/1000 SF, 52 LBS/1000 SF, 7 LBS/1000 SF
- PERMANENT SEEDING IN SLOPED AREAS:**  
SEED MIXTURE: PERENNIAL RYEGRASS, CREEPING RED FESCUE, REDTOP, ALSCE CLOVER, BROSFOOT TRIFOLIUM  
APPLICATION RATE: 30 LBS/1000 SF, 35 LBS/1000 SF, 5 LBS/1000 SF, 5 LBS/1000 SF, 5 LBS/1000 SF

BIORETENTION AREA LANDSCAPE SCHEDULE				
SYMBOL NAME	QUANTITY	BOTANICAL NAME	COMMON NAME	NOTES
AC	2	AMELANCHIER CANADENSIS	SHADBLOW	6-8" HT.
IV	2	ILEX VERTICILLATA	WINTERBERRY	15-18" HT.
CA	2	CLETHRA ALNEGUA	SWEET PEPPERBUSH	12-15" HT.
VD	2	VIBURNUM DENTATUM	ARROWWOOD	18-24" HT.
OS	2	ONOCLEA SENSIBILIS	SENSITIVE FERN	2 QT. POT

NOTE: PROPOSED BIORETENTION PLANTINGS SHALL COME FROM THE BEST DEVELOPMENT PRACTICES GUIDANCE.



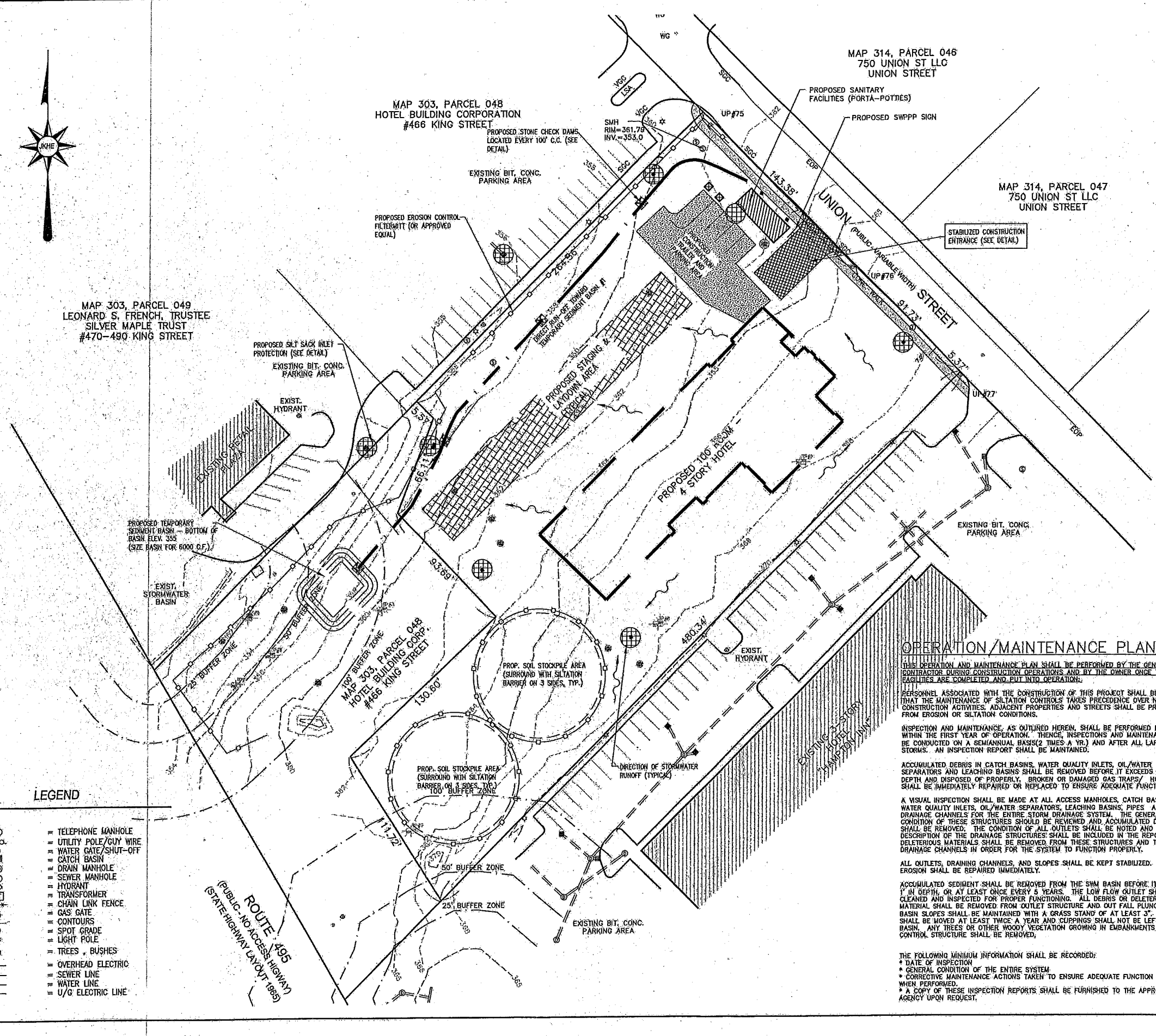


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MAP 314, PARCEL 047  
750 UNION ST LLC  
UNION STREET



- LEGEND**
- ☉ TELEPHONE MANHOLE
  - ⊕ UTILITY POLE/GUY WIRE
  - ⊗ WATER GATE/SHUT-OFF
  - ⊖ CATCH BASIN
  - ⊙ DRAIN MANHOLE
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  - ⊙ CHAIN LINK FENCE
  - ⊙ GAS GATE
  - ⊙ CONTOURS
  - ⊙ SPOT GRADE
  - ⊙ LIGHT POLE
  - ⊙ TREES, BUSHES
  - OHW — OVERHEAD ELECTRIC
  - S — SEWER LINE
  - W — WATER LINE
  - E — U/G ELECTRIC LINE

**ROUTE 495**  
(PUBLIC-NO ACCESS HIGHWAY LAYOUT 1985)

- CONSTRUCTION SEQUENCE**
1. INSTALL SILT SOCKS TO ESTABLISH THE LIMIT OF WORK AS SHOWN ON PLAN.
  2. CONSTRUCT TEMPORARY CONSTRUCTION ENTRANCE AREA AS SHOWN ON DETAIL #610.
  3. DISCHARGES FROM DEWATERING OF EXCAVATIONS SHALL NOT BE DIVERTED DIRECTLY INTO ANY WETLANDS OR EXISTING STORM DRAINS WITHOUT PRETREATMENT VIA SETTLING BASINS.
  4. INSTALL HAY BALE CHECK DAMS ALONG CENTER OF SWALES AT 100' O.C., AS NECESSARY.
  5. CLEAR AND GRUB SITE WITHIN THE LIMIT OF WORK.
  6. CONSTRUCT SWM BASIN TO BE USED AS SEDIMENT TRAP. INSTALL LOW FLOW PERFORATED PIPE WITH FILTER FABRIC AND STONE. DO NOT INSTALL LOW FLOW ORIFICE CAP UNTIL SITE IS FULLY STABILIZED.
  7. ESTABLISH ROUGH SUB GRADES FOR PARKING LOT AND BUILDING PLATFORM.
  8. PERFORM BUILDING AND SITE CONSTRUCTION.
  9. INSPECT AND MAINTAIN EROSION CONTROL MEASURES AFTER RAINFALL EVENTS AND A MINIMUM OF ONCE PER WEEK.
  10. REMOVE SEDIMENT BUILDUP AT EROSION CONTROL DEVICES AS NEEDED. REDISTRIBUTE MATERIAL OVER SITE IN CONFORMANCE WITH EARTHWORK SPECIFICATIONS.
  11. AS DRAINAGE STRUCTURES ARE INSTALLED, INSTALL FILTER FABRIC AND HAY BALES AROUND NEW STRUCTURES IN ACCORDANCE WITH DETAIL #607 AND MAINTAIN THEM UNTIL PAYEMENT IS IN PLACE AND VEGETATION IS ESTABLISHED. ALL OUTFALLS SHALL BE IMMEDIATELY STABILIZED WITH STONE PROTECTION AS REQUIRED.
  12. ALL CUT AND FILL SLOPES SHALL BE TEMPORARILY STABILIZED WITH TOP SOIL, SEED AND MULCH OR CURLEX AS REQUIRED IF CONSTRUCTION ACTIVITY CEASES ON SAID SLOPES FOR A PERIOD OF SEVEN DAYS OR GREATER. ALL SLOPES SHALL BE PERMANENTLY STABILIZED AS REQUIRED IMMEDIATELY UPON COMPLETION OF FINAL GRADING.
  13. COMPLETE FINISH GRADING AND STABILIZATION OF SITE. PLACE FINAL PAVING COURSE.
  14. REMOVE SEDIMENT FROM ALL DRAINAGE STRUCTURES, DRAIN MANHOLES, PIPES AFTER COMPLETION OF CONSTRUCTION. REMOVE AND REGRADE TEMPORARY BERMS, SWALES, CHECK DAMS, ETC. STABILIZE DISTURBED AREAS.
  15. CLEAN OUT ALL SEDIMENT FROM SWM BASIN AND OUTLET STRUCTURES. REGRADE TO CONTOURS PER DESIGN. STABILIZE ALL SLOPES AS REQUIRED. REPLACE FILTER FABRIC AND 1" CLEAN STONE AROUND LOW FLOW OUTLET PIPE. INSTALL LOW FLOW ORIFICE CAP PER DETAIL.
  16. REMOVE SILT SOCKS UPON ESTABLISHMENT OF PERMANENT GROUND COVER. STABILIZE ALL AREAS WHERE SILT SOCKS WERE REMOVED.

- NOTES**
1. MAINTAIN A STOCKPILE OF SILT SOCKS, AND 3 CUBIC YARDS OF RIP-RAP ON SITE AT ALL TIMES UNTIL A PERMANENT GROUND COVER HAS BEEN ESTABLISHED.
  2. STUMPS FROM THE CLEARING OPERATION SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER.
  3. DISTURBED AREAS SHALL BE PROTECTED AT ALL TIMES TO CONTROL SEDIMENT TRANSPORT BEYOND THE LIMIT OF WORK.
  4. DISTURBED AREAS SHALL BE TREATED WITH WATER DURING EXCAVATION, OR APPROVED ALTERNATIVE, TO CONTROL THE DUST.

**OPERATION/MAINTENANCE PLAN**

THIS OPERATION AND MAINTENANCE PLAN SHALL BE PERFORMED BY THE GENERAL CONTRACTOR DURING CONSTRUCTION OPERATIONS AND BY THE OWNER ONCE THE FACILITIES ARE COMPLETED AND PUT INTO OPERATION.

PERSONNEL ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT SHALL BE INFORMED THAT THE MAINTENANCE OF SILTATION CONTROLS TAKES PRECEDENCE OVER NORMAL CONSTRUCTION ACTIVITIES. ADJACENT PROPERTIES AND STREETS SHALL BE PROTECTED FROM EROSION OR SILTATION CONDITIONS.

INSPECTION AND MAINTENANCE, AS OUTLINED HEREIN, SHALL BE PERFORMED FOUR TIMES WITHIN THE FIRST YEAR OF OPERATION. THENCE, INSPECTIONS AND MAINTENANCE SHALL BE CONDUCTED ON A SEMIANNUAL BASIS (2 TIMES A YR.) AND AFTER ALL LARGE STORMS. AN INSPECTION REPORT SHALL BE MAINTAINED.

ACCUMULATED DEBRIS IN CATCH BASINS, WATER QUALITY INLETS, OIL/WATER SEPARATORS AND LEACHING BASINS SHALL BE REMOVED BEFORE IT EXCEEDS 2 FEET IN DEPTH AND DISPOSED OF PROPERLY. BROKEN OR DAMAGED GAS TRAPS/ HOODS SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO ENSURE ADEQUATE FUNCTION.

A VISUAL INSPECTION SHALL BE MADE AT ALL ACCESS MANHOLES, CATCH BASINS, WATER QUALITY INLETS, OIL/WATER SEPARATORS, LEACHING BASINS, PIPES AND DRAINAGE CHANNELS FOR THE ENTIRE STORM DRAINAGE SYSTEM. THE GENERAL CONDITION OF THESE STRUCTURES SHOULD BE REVIEWED AND ACCUMULATED DEBRIS SHALL BE REMOVED. THE CONDITION OF ALL OUTLETS SHALL BE NOTED AND A DESCRIPTION OF THE DRAINAGE STRUCTURES SHALL BE INCLUDED IN THE REPORT. DELETERIOUS MATERIALS SHALL BE REMOVED FROM THESE STRUCTURES AND THE DRAINAGE CHANNELS IN ORDER FOR THE SYSTEM TO FUNCTION PROPERLY.

ALL OUTLETS, DRAINING CHANNELS, AND SLOPES SHALL BE KEPT STABILIZED. ANY EROSION SHALL BE REPAIRED IMMEDIATELY.

ACCUMULATED SEDIMENT SHALL BE REMOVED FROM THE SWM BASIN BEFORE IT EXCEEDS 1' IN DEPTH, OR AT LEAST ONCE EVERY 5 YEARS. THE LOW FLOW OUTLET SHALL BE CLEANED AND INSPECTED FOR PROPER FUNCTIONING. ALL DEBRIS OR DELETERIOUS MATERIAL SHALL BE REMOVED FROM OUTLET STRUCTURE AND OUT FALL PLUNGE POOL. BASIN SLOPES SHALL BE MAINTAINED WITH A GRASS STAND OF AT LEAST 3". GRASS SHALL BE MOVED AT LEAST TWICE A YEAR AND CURBINGS SHALL NOT BE LEFT IN BASIN. ANY TREES OR OTHER WOODY VEGETATION GROWING IN EMBANKMENTS OR NEAR CONTROL STRUCTURE SHALL BE REMOVED.

THE FOLLOWING MINIMUM INFORMATION SHALL BE RECORDED:

- \* DATE OF INSPECTION
- \* GENERAL CONDITION OF THE ENTIRE SYSTEM
- \* CORRECTIVE MAINTENANCE ACTIONS TAKEN TO ENSURE ADEQUATE FUNCTION AND WHEN PERFORMED
- \* A COPY OF THESE INSPECTION REPORTS SHALL BE FURNISHED TO THE APPROPRIATE AGENCY UPON REQUEST.

Assessors Map: 314 Parcel: 16  
725 Union Street, Franklin, Massachusetts

PREPARED FOR  
**4 SQ DEVELOPMENT LLC**

TITLE  
**SEDIMENT & EROSION CONTROL PLAN**

**J.K. HOLMGREN ENGINEERING, INC.**  
Registered Professional Engineers and Land Surveyors  
1024 Peard Street, Brockton, MA, 02301  
Phone - (508) 583-2595 Fax - (508) 588-7518  
Email: jholmgrn@jholmgrn.com

**JAE** J.K. Holmgren Engineering  
Registered Professional Engineers & Land Surveyors

30 0 30 60  
SCALE IN FEET

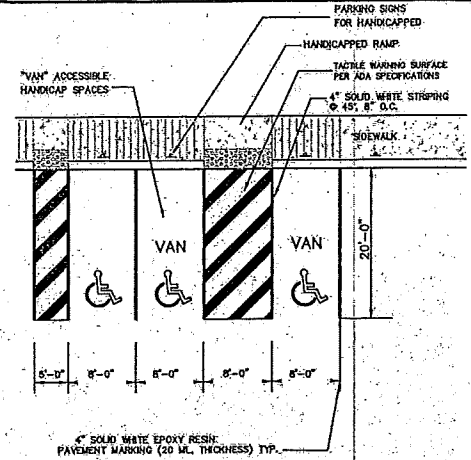
SCALE: 1" = 30'

DATE: 2/9/2018

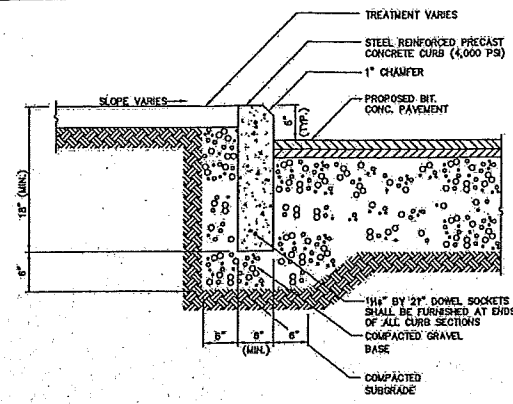
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2	SSR 6.13.18	REVS. PER REVIEW ENG.	
1	SSR 3.1.18	REVS. PER CONS. COMM.	
NO.	BY	DATE	REMARKS
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**C-7**  
DRAWING NUMBER

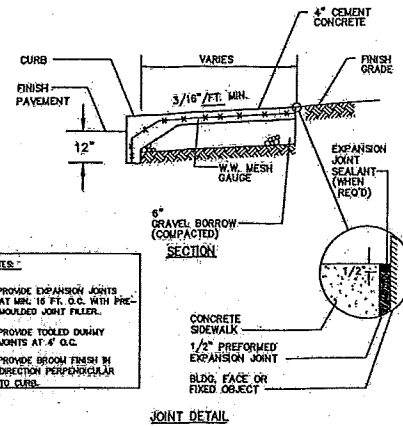




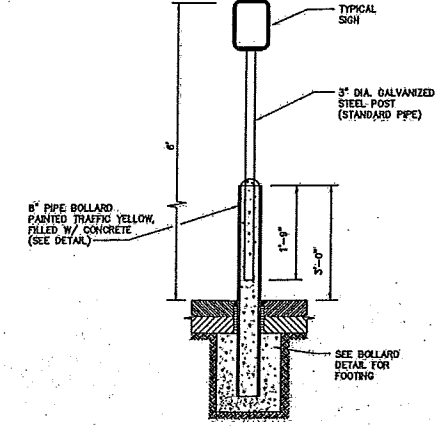
HANDICAP PARKING STALL LAYOUT DETAIL N.T.S.



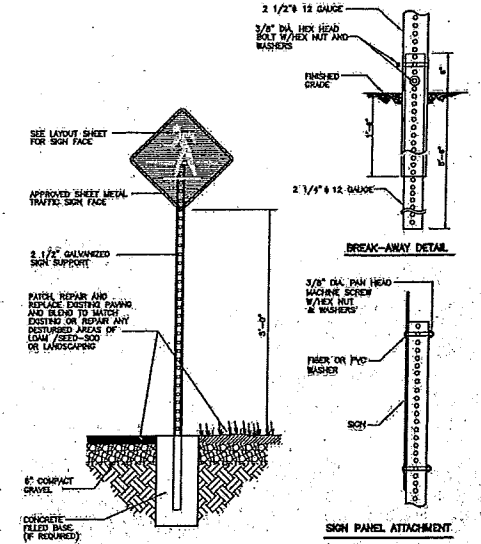
PRECAST CONCRETE CURB (PCC) DETAIL N.T.S.



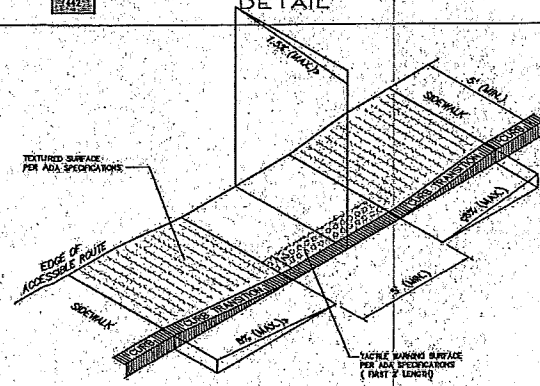
MONOLITHIC CONCRETE SIDEWALK AND CURB DETAIL N.T.S.



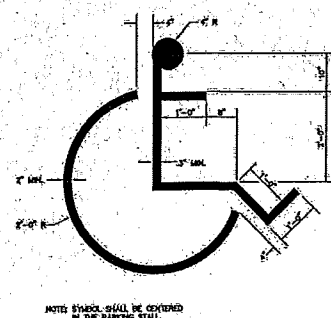
HANDICAP PARKING SIGN BASE (in paved area) DETAIL N.T.S.



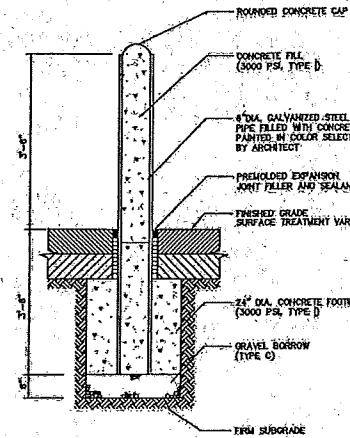
TRAFFIC SIGN POST DETAIL N.T.S.



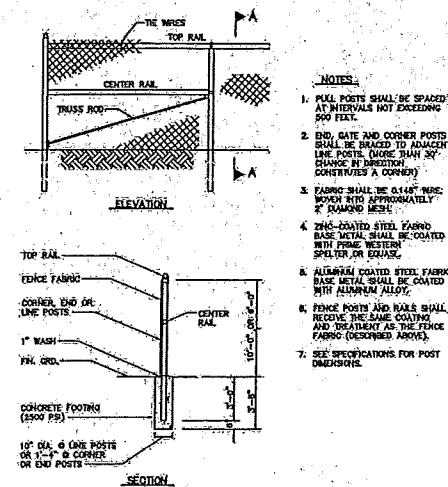
- NOTES:**
1. THE MAXIMUM ALLOWABLE ROUTE (SIDEWALK) AND CURB RAMP CROSS SLOPES SHALL BE 1:6X.
  2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 2\"/>



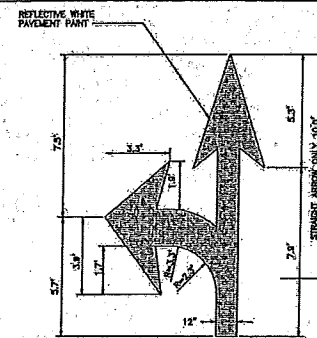
HANDICAPPED PARKING STALL SYMBOL DETAIL N.T.S.



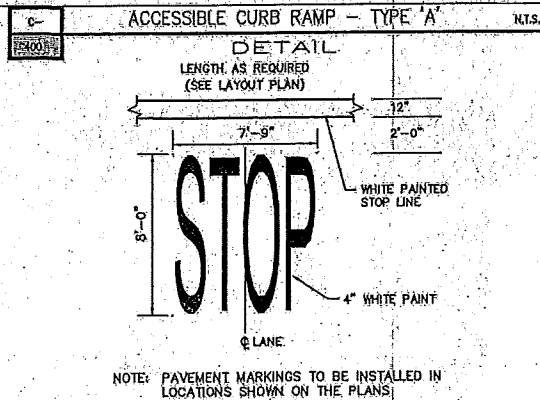
BOLLARD DETAIL N.T.S.



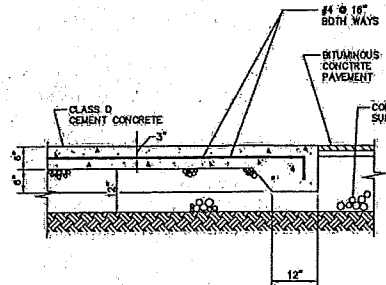
CHAIN LINK FENCE DETAIL N.T.S.



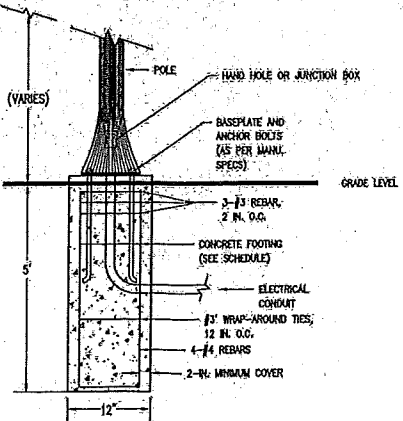
TURN AND ARROW TRAFFIC MARKING DETAIL N.T.S.



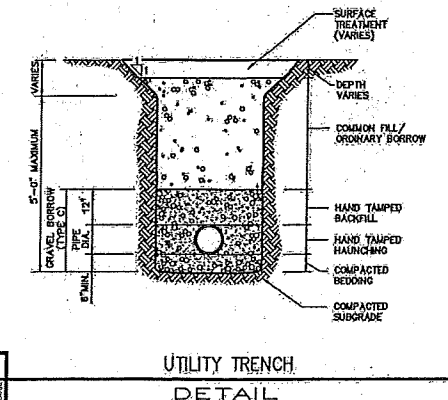
PAINTED PAVEMENT MARKING DETAIL N.T.S.



DUMPSTER PAD DETAIL N.T.S.



LIGHT POLE BASE DETAIL N.T.S.



UTILITY TRENCH DETAIL N.T.S.

Assessors Map: 314 Parcel: 16  
725 Union Street, Franklin, Massachusetts

PREPARED FOR  
4 SQ DEVELOPMENT LLC

TITLE  
DETAIL SHEET

J.K. HOLMGREN ENGINEERING, INC.

Registered Professional Engineers and Land Surveyors  
1024 Pearl Street, Brockton, MA, 02301  
Phone - (508) 688-2695 Fax - (508) 688-7618  
Email : jholmgren@jholmgren.com



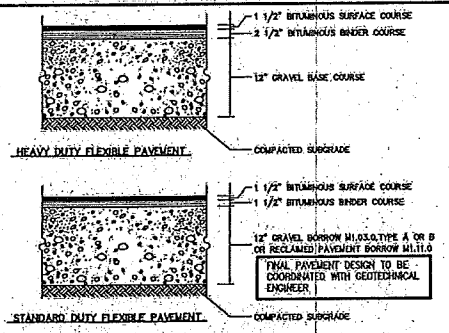
DATE: 2/9/2018

NO.	BY	DATE	REMARKS
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1	SSR	3.1.18	REVS. PER CONS. COMM.

C-8  
DRAWING NUMBER

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2017-100

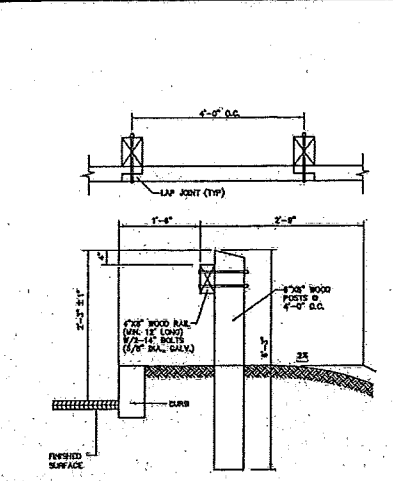
**JAE** J.K. Holmgren Engineering  
Registered Professional Engineers & Land Surveyors



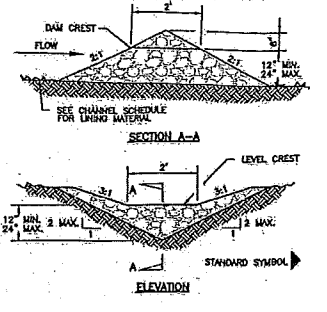
**COMPOSITION AND COMPACTION ACCEPTANCE TESTS**

- OBTAIN SAMPLES FROM PLANT TO INDICATE CONFORMANCE WITH M311.09
- PAVEMENT DENSITY AS OUTLINED IN M311.09
- ALL SAMPLES TO BE TAKEN IN ACCORDANCE WITH AASHTO T330
- MATERIALS SHALL MEET OR EXCEED THE REQUIREMENTS SPECIFIED IN SECTION M311.09 DIVISION II, MATERIALS AND THE FOLLOWING SUBSECTIONS:
  - MINERAL AGGREGATE: M311.09 - BITUMINOUS MATERIALS: M311.09
  - MINERAL FILLER: M311.09
  - COMPOSITION OF BASE COURSE: M311.09
- THE BITUMINOUS CONCRETE BASE COURSE SHALL BE CONSTRUCTED IN ACCORDANCE WITH RELEVANT SECTIONS/PROVISIONS OF SECTION 400 FOR CLASS I BITUMINOUS CONCRETE PAVEMENT, TYPE I-1
- CLASS I BITUMINOUS PAVEMENT (TYPE I-1) REQUIRED THE SAME TESTING AS BASE COURSE AND SHALL HAVE A MINIMUM OF SIX COMPACTION TESTS TO BE COMPLETED BY METHOD OUTLINED IN M311.09.

**BITUMINOUS CONCRETE PAVEMENT SECTIONS** N.T.S. DETAIL



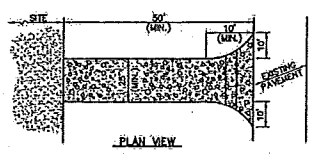
**WOOD GUARD RAIL** N.T.S. DETAIL



**SPECIFICATIONS**

- THE STONE SHALL BE CRUSHED STONE (GRAVEL) MAY BE USED IF CRUSHED STONE IS NOT AVAILABLE WHICH MEETS MSHA SIZE NO. 2 OR AASHTO DESIGNATION M31.102.
- THE CREST OF THE CHECK DAM SHALL BE SIX INCHES LOWER THAN THE OUTER EDGE, WITH A MAXIMUM CREST HEIGHT OF 24 INCHES AND A MINIMUM OF 12 INCHES.
- THE MINIMUM STRUCTURE LENGTH SHALL BE SIX FEET.
- THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN, AND REPAIRS MADE AS NECESSARY SO AS TO ENSURE PROPER FUNCTIONING OF STRUCTURE.
- ALL ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN ITS DEPTH EQUALS ONE-HALF OF THE ORIGINAL HEIGHT OF THE STRUCTURE.
- CHECK DAMS SHALL BE REMOVED UPON APPROVAL BY INSPECTING AUTHORITY, UNLESS OTHERWISE NOTED THAT DAM IS TO REMAIN IN PLACE.
- UPON REMOVAL, DISTURBED AREAS SHALL BE PROPERLY STABILIZED.

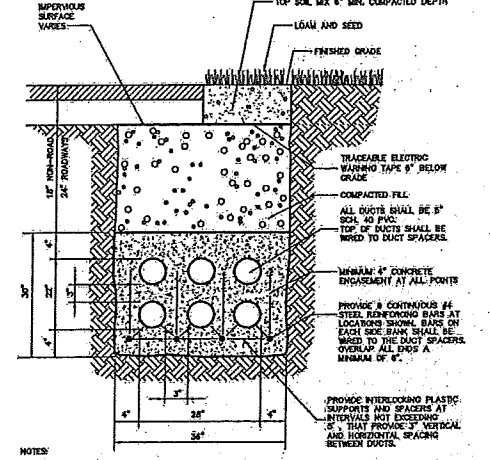
**STONE CHECK DAM** N.T.S. DETAIL



**STABILIZED CONSTRUCTION EXIT** N.T.S. DETAIL

**NOTES:**

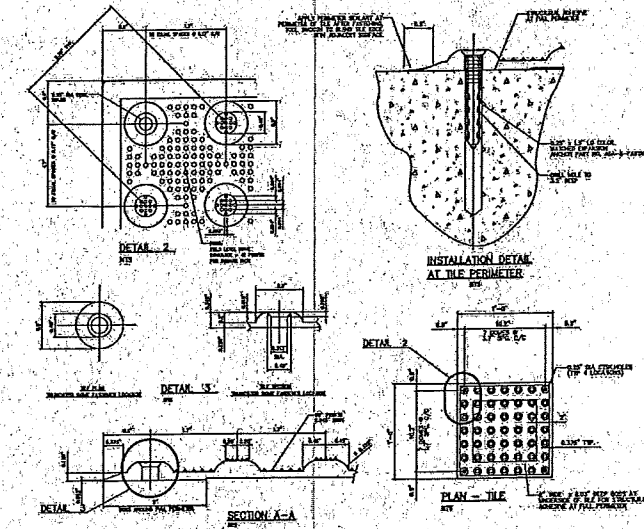
- ENTRANCE WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OF FLOWS OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANUP OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SHALL BE REMOVED IMMEDIATELY. WORK SHALL BE PERMITTED, PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.



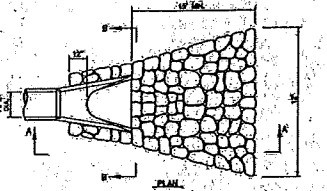
**UTILITY DUCT BANK** N.T.S. DETAIL

**NOTES:**

- 1500 PSI CONCRETE FILL AND/OR DUCTS.
- CONCRETE MAY BE PLACED DIRECTLY INTO OPEN TRENCH WITHOUT FORMWORK.
- DUCT SPACERS TO BE USED AT 6'-0" CENTERS BETWEEN DUCTS.



**HANDICAPPED TACTILE WARNING TILE SURFACE** N.T.S. DETAIL

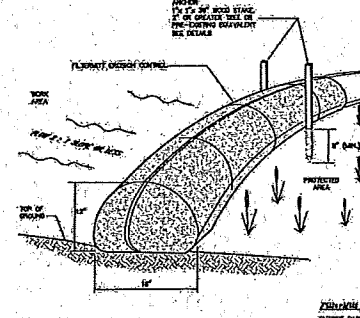


**FLARED END SECTION W/STONE PROJECTION** N.T.S. DETAIL

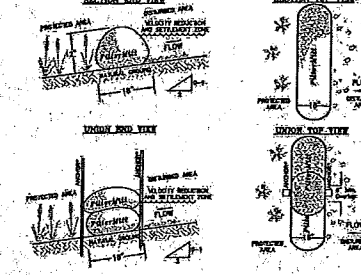
**DIMENSIONAL TABLE**

DEPTH	A	B	C	D	E	F	G
12"	12"	12"	12"	12"	12"	12"	12"
18"	18"	18"	18"	18"	18"	18"	18"
24"	24"	24"	24"	24"	24"	24"	24"
30"	30"	30"	30"	30"	30"	30"	30"
36"	36"	36"	36"	36"	36"	36"	36"
42"	42"	42"	42"	42"	42"	42"	42"
48"	48"	48"	48"	48"	48"	48"	48"
54"	54"	54"	54"	54"	54"	54"	54"
60"	60"	60"	60"	60"	60"	60"	60"
66"	66"	66"	66"	66"	66"	66"	66"
72"	72"	72"	72"	72"	72"	72"	72"
78"	78"	78"	78"	78"	78"	78"	78"
84"	84"	84"	84"	84"	84"	84"	84"
90"	90"	90"	90"	90"	90"	90"	90"
96"	96"	96"	96"	96"	96"	96"	96"
102"	102"	102"	102"	102"	102"	102"	102"
108"	108"	108"	108"	108"	108"	108"	108"
114"	114"	114"	114"	114"	114"	114"	114"
120"	120"	120"	120"	120"	120"	120"	120"

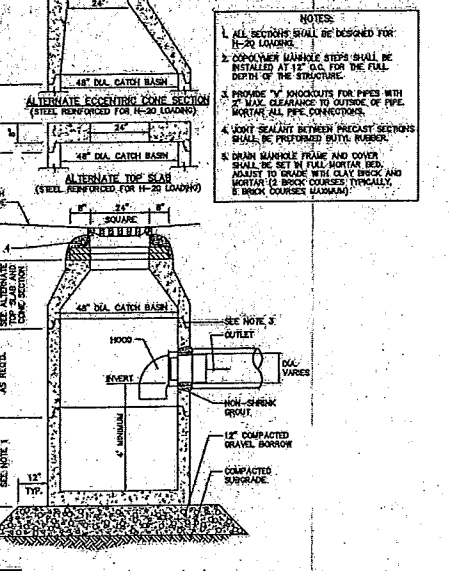
**SECTION B-B** N.T.S. DETAIL



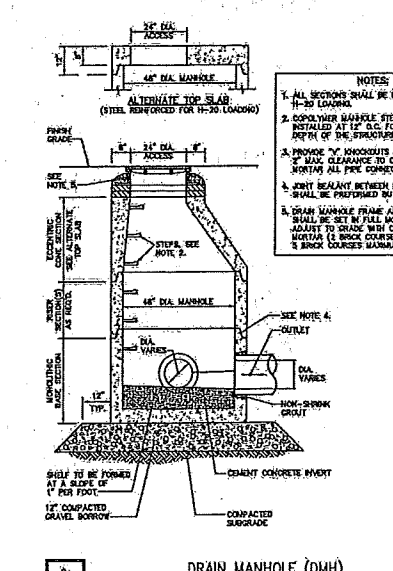
**FILTERMATT EROSION CONTROL** N.T.S. DETAIL



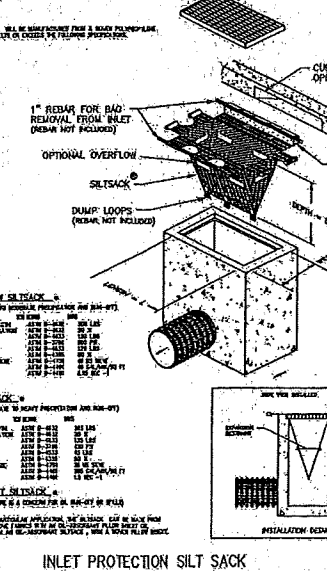
**INLET PROTECTION SILT SACK** N.T.S. DETAIL



**CATCH BASIN (CB) WITH GAS TRAP** N.T.S. DETAIL



**DRAIN MANHOLE (DMH)** N.T.S. DETAIL



**INLET PROTECTION SILT SACK** N.T.S. DETAIL

Assessors Map: 314 Parcel: 16  
725 Union Street, Franklin, Massachusetts

PREPARED FOR:  
**4 SQ DEVELOPMENT LLC**

TITLE:  
**DETAIL SHEET**

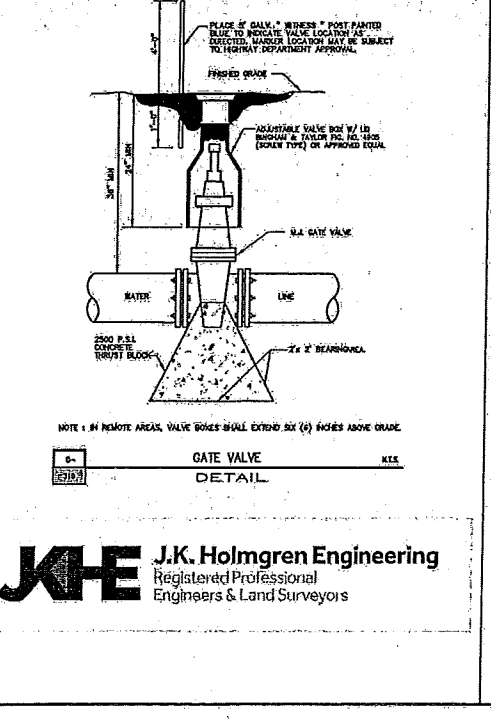
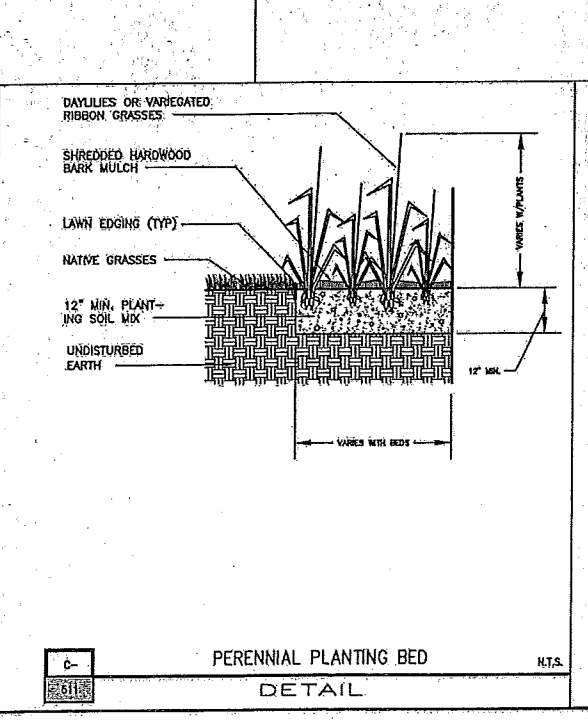
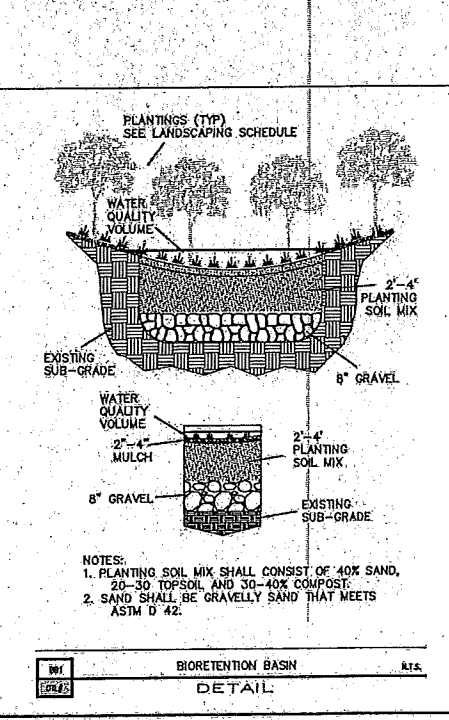
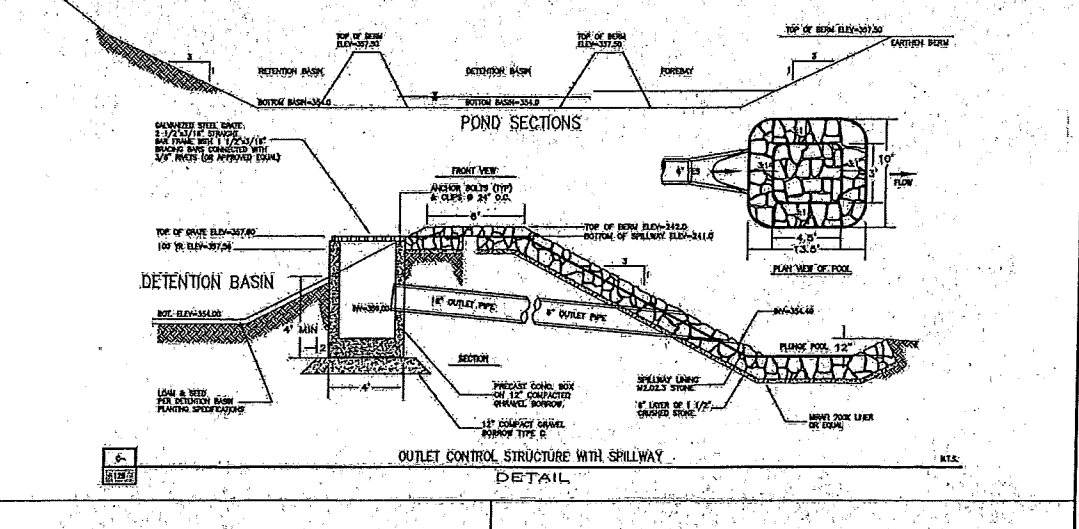
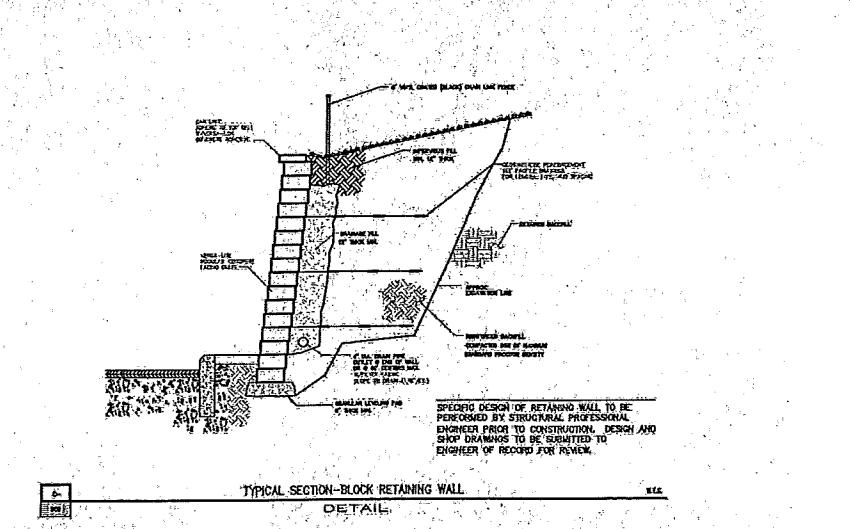
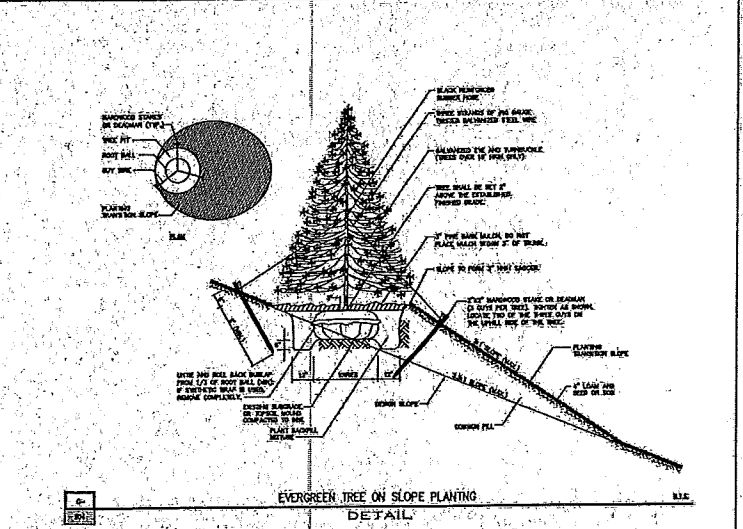
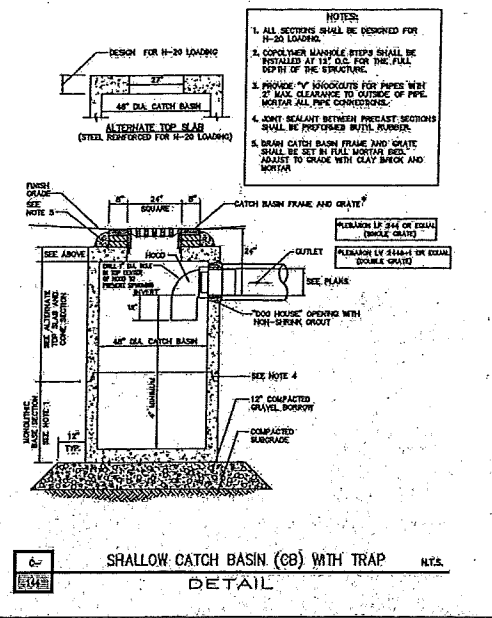
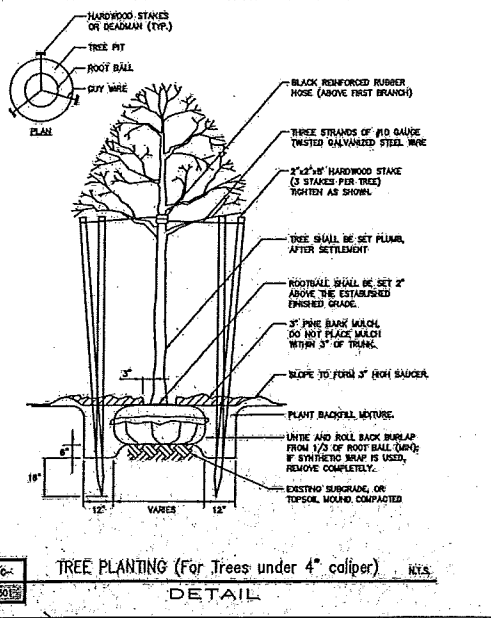
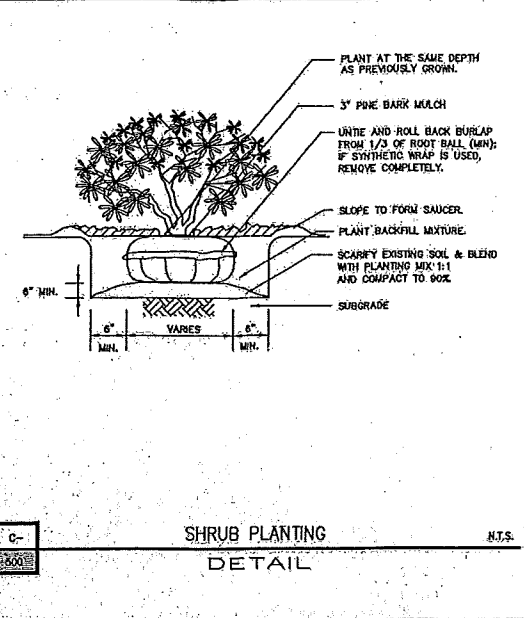
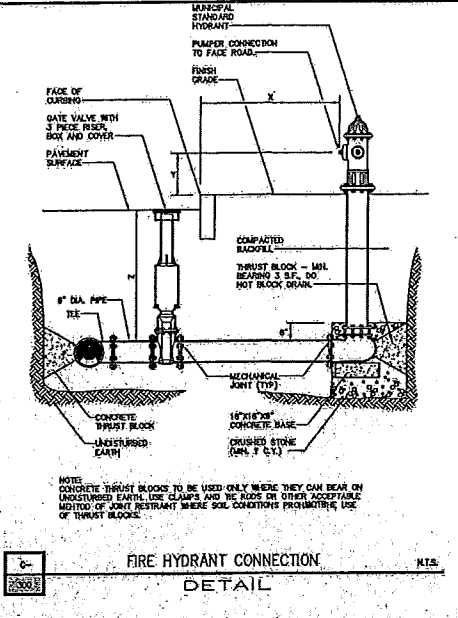
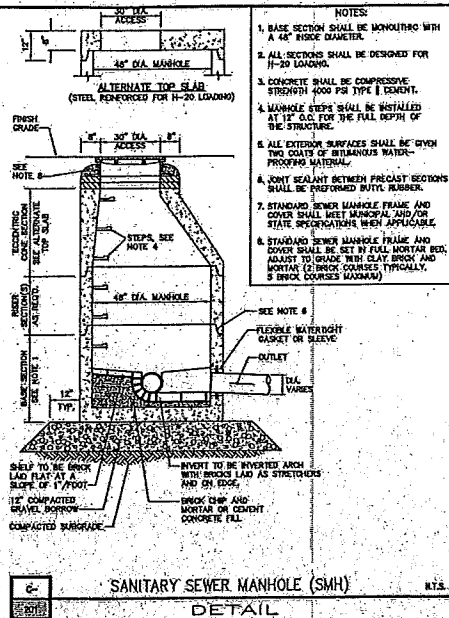
**J.K. HOLMGREN ENGINEERING, INC.**  
Registered Professional Engineers and Land Surveyors  
1024 Pearl Street, Brockton, MA, 02301  
Phone: (608) 688-2595 Fax: (608) 688-7518  
Email: jholmgren@jholmgren.com



DATE: 2/9/2018

3	SSR 10.24.18	REVS. FOR PB SUBM.	<b>C-9</b> DRAWING NUMBER
NO.	BY	DATE	
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2017-100			

**JKE** J.K. Holmgren Engineering  
Registered Professional Engineers & Land Surveyors



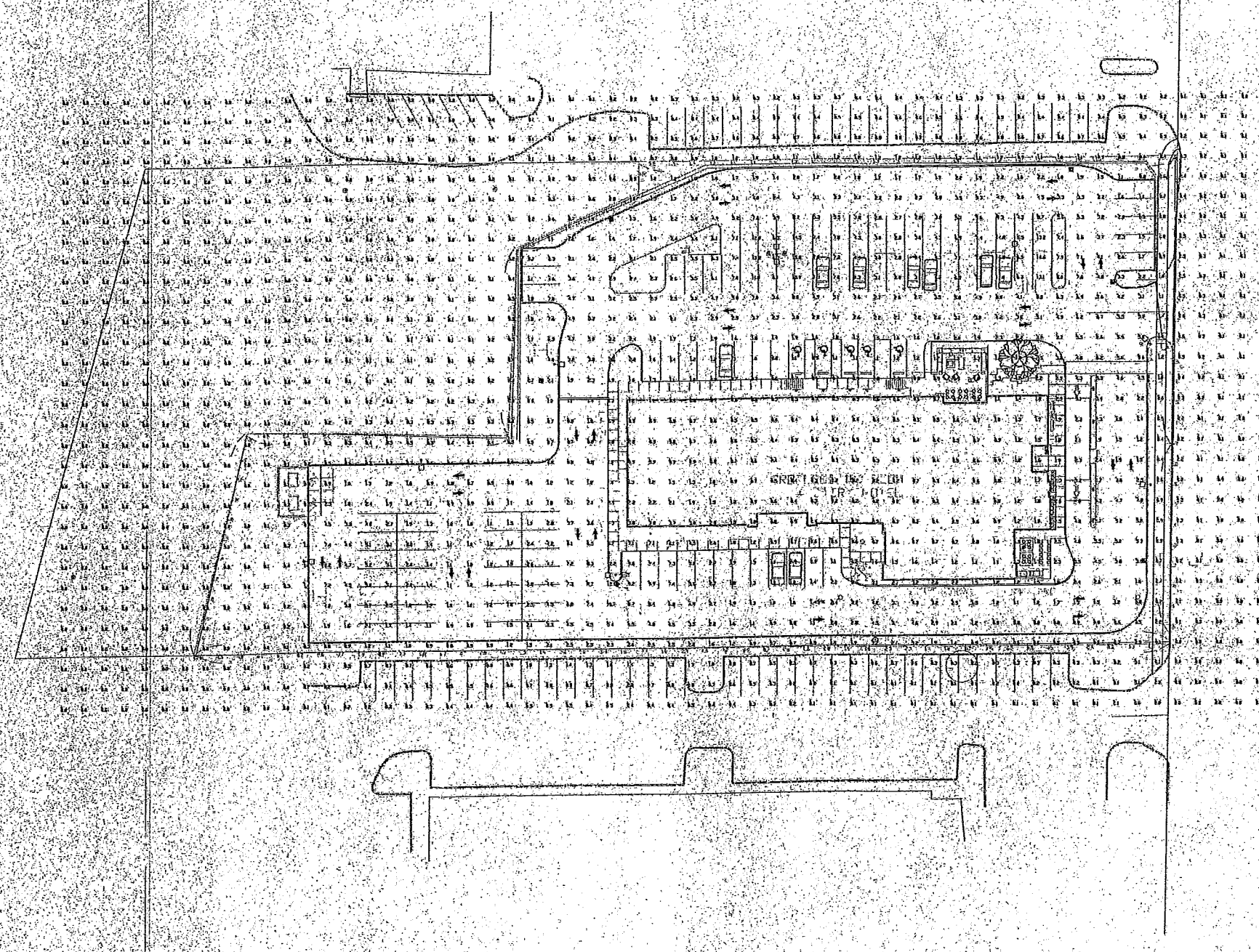
Assessors Map: 314 Parcel: 16  
 725 Union Street, Franklin, Massachusetts  
 PREPARED FOR  
**4 SQ DEVELOPMENT LLC**  
 TITLE  
**DETAIL SHEET**  
**J.K. HOLMGREN ENGINEERING, INC.**  
 Registered Professional Engineers and Land Surveyors  
 1024 Pearl Street, Brockton, MA 02301  
 Phone - (609) 688-2685 Fax - (609) 688-7618  
 Email: jholmgren@jholmgren.com

DATE: 2/9/2018

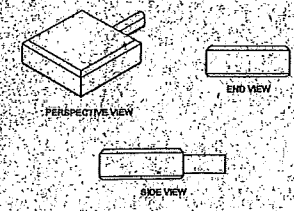
**J.K. Holmgren Engineering**  
 Registered Professional Engineers & Land Surveyors

3	SSR 10.19.18 REVS. FOR PB SUBM.	<b>C-10</b> DRAWING NUMBER
NO.	BY DATE	

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 2017-100



XGBM  
LED Area Light



Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL POINTS AT GRADE 10'x10'	Illuminance	Fc	1.29	16.2	0.0	NA	NA
PROPERTY LINE	Illuminance	Fc	0.70	2.4	0.0	NA	NA
PARKING SUMMARY	Illuminance	Fc	3.47	16.2	0.5	6.94	32.40

Symbol	Qty	Label	Arrangement	Description	LLF	Lumens/Lamp	App. Lum. Lumens	App. Watts
A	3	A	D180	XGBM-FT-LED-HO-CW-D180-25MH	0.900	NA	58140	601.6
B	4	B	SINGLE	XGBM-FT-LED-HO-CW-HSS-SINGLE-25MH	0.900	NA	21164	287.6
C	1	C	SINGLE	XGBM-3-LED-HO-MW-HSS-SINGLE-25MH	0.900	NA	14079	289.3

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

The lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with the Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaire may vary due to changes in electrical voltage, tolerance in lamp/LEDs and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixtures, manufacturer, model, and wattage not included. Operating procedures are listed. IES is not responsible for product selection, performance, or any other issues. This drawing is for informational purposes only and should not be used as a construction document or as a final document for ordering product.

Total Project Watts  
Total Watts = 3243.5

LIGHTING PROPOSAL: LD-141383

FRANKLIN, MA

DATE: 02/27/2018

SCALE: 1/4"=1'-0"

SHEET 1 OF 1